



TOWN OF BOXBOROUGH NOTICE OF PUBLIC MEETING

BOARD/COMMITTEE: Conservation Commission

MEETING DATE: September 16, 2020

TIME: 7:30 PM

PLACE: Remote Meeting pursuant to Current Executive Order of March 12, 2020.
See instructions below.

All participants must identify themselves when speaking. All votes to be by rollcall.

7:30 TOPICS EXPECTED TO BE DISCUSSED (AGENDA):

Review Minutes and Correspondence New Business

For review and approval:

Minutes: Sept. 2, 2020

Committee Reports: Chairman's Reports (Reip)

Boxborough Conservation Trust (Koonce)

Best Meeting Practices (Reip / Nadwairski)

Community Preservation Committee (Reip)

Land Stewardship Committee (Hanover)

Water Resources Committee (Schmitt)

7:45 Invasive Plants Management

8:00 Notice of Intent Hearing DEP 113-563 427 & 493 Massachusetts Avenue
Blanchard School Bridge Replacement

Discussion as time allows: Chapter 61 Land Use
Commission Study Topics

Ongoing: 199 Middle Road EO
313 Mass Ave OOC compliance and COC status
498 Stow Road encroachment
881 Massachusetts Ave
1102 Massachusetts Ave. EO

Calendar:

Oct. 7, 2020

Oct. 21, 2020

Correspondence:

Email Oxbow Assoc. Monitoring Report Boxborough Meadows

Join Zoom Meeting

<https://us02web.zoom.us/j/85366505557>

Meeting ID: 853 6650 5557

One tap mobile

+16699006833,,85366505557# US (San Jose)

+12532158782,,85366505557# US (Tacoma)

Dial by your location

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

Meeting ID: 853 6650 5557

Find your local number: <https://us02web.zoom.us/u/kbf3TAAUYy>



TOWN OF BOXBOROUGH NOTICE OF PUBLIC MEETING Meeting Minutes

Conservation Commission
Sept. 2, 2020
7:30 PM
Zoom

Approved:

Members Present: Dennis Reip (Chair), Dave Follett, Norm Hanover, Steve Schmitt, and Hoff Stuart

Members Absent: David Koonce

At 7:39 PM, Dennis called the meeting to order and noted this meeting is being conducted via Remote Participation, pursuant to Governor Baker's Executive Order of March 12, 2020, due to the current State of Emergency in the Commonwealth due to the outbreak of COVID-19 a.k.a. the Coronavirus.

Motion was made by Dennis, seconded by David and voted unanimously by roll call to approve the minutes of August 19, 2020. Reip yes; Follett yes; Hanover yes; Schmitt yes; Stuart yes.

Motion was made by Dennis, seconded by David and voted unanimously by roll call to approve the payment of \$506.25 to Places Associates for work on the 1172 Hill Road Notice of Intent. Reip yes; Follett yes; Hanover yes; Schmitt yes; Stuart yes.

Correspondence

Email from Scott Smyers, Oxbow Associates, inquiry regarding Boxborough Meadows wetland replacement area that he is monitoring. Scott has found invasive plant species, including bittersweet. Motion was made by Dennis, seconded by David and voted unanimously by roll call to request a Monitoring Report with more specific details about species and dominance. Reip yes; Follett yes; Hanover yes; Schmitt yes; Stuart yes.

Email from Bill Litant, Chair Council on Aging, regarding trails suitable for perambulation by older persons. The Commission will ask the COA for a more specific request or recommendation.

Email from Scott Smyers, Oxbow Associates, with information on invasives control on Conservation land. Norm will provide a list of parcels with a preliminary assessment of invasives issues. The topic will be discussed at the next meeting.

Chairman's Report

Applewood Condominiums requested input on a project for maintenance and repair related to their swimming pool which is close to the wetlands. The Commission agreed this project could be an RDA filing the work is all maintenance, limited to temporary impact only, and there is no permanent alteration of previously disturbed area. If the plan is to expand the permanent footprint in any way, then a Notice of Intent is required.

Dennis reported on activity near the Garabedian Bridge near Rt. 111 between the library and school. This may be related to the wetland replication for the proposed sidewalk along Rt. 111. Dennis will inquire about the status and timing of the work.

Dennis reported on activity at 313 Massachusetts Avenue DEP 113-519. The Commission will evaluate further when the property owner files for a Certificate of Compliance.

Discussion of Enforcement Order (EO) at 199 Middle Road

In response to the EO, Zoya Mikhlin contacted staff and requested some relief.

Attorney Sherry Gould participated on behalf of the property owners Leonid and Zoya Mikhlin.

This issue came to the attention of the Commission after an abutter contacted the Department of Environmental Protection about this activity in the wetlands.

Sherry stated the chickens and their coop should be allowed as an agricultural use and therefore exempt from the Wetlands protection Act. The property owners believe the previous Town Planner gave approval for the chickens and shed. The owners and the Commission do not have any documentation asserting this approval.

Dennis commented that there are other locations onsite for the coop and chickens outside of the wetlands resource area.

The property owner will have the wetlands flagged, showing the buffer zone, property lines and location of the chicken coop. Sherry will respond by Sept. 16, 2020 with an action plan.

At 9:34 PM, motion was made by Norm, seconded by Hoff and voted unanimously by roll call to adjourn. Reip yes; Follett yes; Hanover yes; Schmitt yes; Stuart yes.

Documents used during this meeting:

Agenda

Draft Minutes August 19, 2020

Invoice: Places Associates

Correspondence

199 Middle Road Enforcement Order



September 9, 2020

Boxborough Conservation Commission
29 Middle Road
Boxborough, MA 01719

**Re: 2020 Monitoring Report
Boxborough Meadows
Boxborough, MA**

MA DEP File No. 113-371

Dear Members of the Commission:

On behalf of the Applicant, Oxbow Associates, Inc. (OA, specifically S. Smyers) worked with the project team to oversee site preparation, excavation, backfilling, planting, and seeding in the wetland replacement area at the above referenced property. Please review OA's previously submitted report from December 18, 2019 for additional details. This report summarizes the conditions of the wetland area through 2020, the second growing season of vegetative monitoring (see attached photographs).

- OA found all 16 woody shrubs planted in 2018: eight highbush blueberry (*Vaccinium corymbosum*) and eight winterberry holly (*Ilex verticillata*). All specimens were in good condition
- Prior to the excavation of the wetland (2018), two highbush blueberry and three winterberry holly were temporarily removed, then replanted within the restoration area. One of the blueberries was mostly dead (the other was in good condition), one of the winterberries was dead, but the other two were in good condition.
- The groundcover vegetation provided nearly 100% cover and is well-established with a diverse mix of graminoids and forbs including Virginia wild rye (*Elymus virginicus*), red top *Agrostis alba*, sedges (*Carex lurida*, *C. crinita*), bullrush (*Scirpus atrovirens*), beggar's tick (*Bidens cernua*), knotweed (*Persicaria* sp.), panicked ticktrefoil (*Desmodium paniculatum*), and curly dock (*Rumex crispus*).
- Some invasive species are encroaching from the perimeter of the wetland including Asiatic bittersweet (*Celastrus orbiculatus*), glossy buckthorn (*Frangula alnus*), Japanese barberry (*Berberis thunbergii*), and multiflora rose (*Rosa multiflora*).

Recommendations

- OA believes the restoration area is in good condition, but invasive plants should be selectively treated/removed (herbicide would be most effective).
- Instruct landscapers not to mow the restoration area and consider installing some markers a few feet from the edge of the sidewalk.
- Upon any response from the Commission, OA will request a Certificate of Compliance.

Please let me know if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Scott Smyers". The signature is written in a dark grey or black ink.

Scott D. Smyers, M.S.
Senior Scientist

cc: Boxborough Meadows LLC

encs. Photo Figures

Boxborough Meadows Wetland Area



Photo 1. Wetland Replacement Area on Aug 21, 2020 (view to south)



Photo 2. Wetland Replacement Area on Aug 21, 2020 (view to south)

Boxborough Meadows Wetland Area



Photo 3. Wetland replacement area with view to the north (August 21, 2020).



Photo 4. Representative wetland surface with shrubs, rocks and logs scattered for habitat (August 21, 2020).

Boxborough Meadows Wetland Area



Photo 5. Dense groundcover in wetland (August 21, 2020).



Photo 6. Patch of bittersweet along edge of wetland (August 21, 2020)

TOWN OF BOXBOROUGH
Conservation Commission
29 Middle Road
Boxborough, MA 01719
(978) 264-1722

LEGAL NOTICE OF PUBLIC HEARING
Notice of Intent

Pursuant to MGL Ch. 131, Section 40 and the Boxborough Wetlands By-Law, a Public Hearing will be held on **September 16, 2020 at 8:00 PM** before the Boxborough Conservation Commission to consider a **Notice of Intent** filed by Places Associates on behalf of the applicant, the Town of Boxborough Hager Bridge and Well-Being Committee. The property is located at 427 Massachusetts Avenue, Assessor's Map 15-001-000, owned by the Town of Boxborough and 493 Massachusetts Avenue, Assessor's Map 15-002-000, owned by the Acton-Boxborough Regional School District.

Project description: bridge replacement crossing Guggins Brook between the school and library

Based on current COVID-19 circumstances, this public hearing will be held in the Town Hall at 29 Middle Road **or otherwise** will be held via Zoom videoconferencing. All details will be made available on the Conservation Commission agenda when posted, a minimum of 48 hours prior to the meeting on the town web site, www.boxborough-ma.gov.

Contact the Conservation Commission office at 978.264.1722 if there are questions.

Publish: September 3, 2020

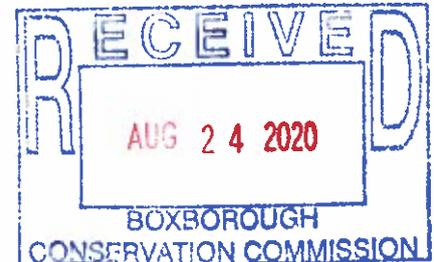


August 21, 2020

Boxborough Conservation Commission
Town Hall, 29 Middle Road
Boxborough, MA 01719

First Class Mail

Re: Notice of Intent Filing for 427 and 493 Massachusetts Ave
Blanchard School Bridge / Boardwalk Replacement
Places Job Number 5331



Dear Chairman Reip:

Please find enclosed an Notice of Intent Application (WPA Form 3 – Notice of Intent) for the replacement in kind of the existing bridge/boardwalk that crosses Guggin’s Brook (a perennial stream, “river”) between the school and the Hager Land, located to the north of the school. The project proposes work within the buffer zone and within the wetlands in areas that are currently “disturbed” and as such no wetlands replication has been provided. The existing structures are located within the 100-year floodplain, while the replacement structures are proposed above the 100-year floodplain and no additional flood storage is required.

The applicant is the Town of Boxborough, who is also one of the two property owners (Hager Land). The other property Owner is the Acton-Boxborough School District (School Property). The Boxborough Town Administrator is signing on behalf of the Town as applicant and property owner. The School District is signing, through the Superintendent’s office, as the other property owner. As this is a municipal project no fees are required under the Wetlands Protection Act. Boxborough Wetlands Regulations, Section 2.6.3.b notes that town projects are exempt from local bylaw filing fees as well.

This application is being filed as a Limited Project pursuant to 310 CMR 10.53 (3), j, where the construction (or reconstruction) of a footbridges, catwalks and observation decks are allowed. Boxborough Wetlands Regulations, section 2.2 specifically note that the Commission may allow limited projects. Lastly the work is located within a NHESP Priority Habitat of Endangered Species and a copy of this application has been forwarded to NHESP as required.

The new bridge is proposed to be a clear span of the stream (30’), reinforced fiberglass, with buttress footings on either side. It will be installed by a licensed contractor using heavy equipment, who will also be responsible for all erosion controls. The connection to the adjacent uplands on the Hager Land (northerly side) will be a replacement boardwalk made from pressure treated wood and built by volunteers. The new bridge will be connected to the existing exterior walkway system of the school. As it needs to be readily maintained and fully accessible, this walkway connection is proposed to be a 5’ wide paved asphalt path up to the bridge. This paving will be undertaken by the School District at a future date. No paving on the northerly side is proposed, where the catwalk will connect to the existing trails.

The bridge will serve multiple functions. It will:

1. Replace the current bridge which is impeding flow of Guggin's Brook
2. Be designed to be accessible to people with disabilities
3. Is a secondary emergency egress from the property, if ever needed.
4. Allows active, passive and teaching access to the Hager Open Space Land.

In accordance with your Regulations and Instructions for Applicants the following items have are attached and should be considered a part of the application:

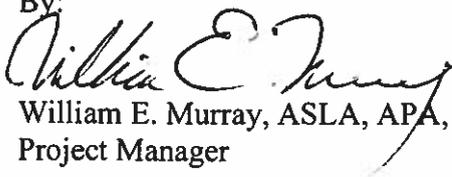
- (2) copies of this letter
- (2) copies of the USGS Quadrangle
- (2) copies of photographs representative of the site as required by NHESP
- (2) WPA Form 3 – Notice of Intent (one with original signatures) and Fee Transmittal Form
- (2) full size copies of Plan entitled “ Notice of Intent Plan” prepared by this office and dated August 2020 and “Erosion and Sedimentation Control Plan”
- (8) reduced 11”x17” copies of Plan entitled “ Notice of Intent Plan” prepared by this office and dated August 2020
- As a town project it is exempt from filing fees and no fee has been provided.
- (2) copies of the Notification to Abutters Form as sent and the Affidavit of Service Form.
- (2) copies of a certified list of abutters within 300’ of the (2) project parcels.

The locus map shows wetlands for the entire property and adjacent properties in a general manner.

On behalf of the Town of Boxborough's Hager Bridge and Well-Being Committee, we appreciate any consideration that the Commission can give this matter. Should you require additional information or clarification of the submitted materials, please do not hesitate to contact us.

Very truly yours,
Places Associates, Inc.

By:



William E. Murray, ASLA, APA, CLARB
Project Manager

Cc: Mass DEP, CRO, Wetlands Div.
NHESP

Cert. Mail No. 7001 2510 0002 8875 1254
Cert. Mail No. 7004 2890 0003 0747 0289

Enc: As noted



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boxborough
City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

427 and 493 Massachusetts Ave Boxborough 01719
a. Street Address b. City/Town c. Zip Code

Latitude and Longitude:
42.482364 -71.505063
d. Latitude e. Longitude

Map 15 Parcels 1 and 2
f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Alissa Weiss Hager Bridge and Well Being Committee
a. First Name b. Last Name

Town of Boxborough
c. Organization

29 Middle Road
d. Street Address

Boxborough MA 01719
e. City/Town f. State g. Zip Code

978-422-1722
h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Owner 1 - Town of Boxborough (same as above)
a. First Name b. Last Name

Owner 2 - Acton-Boxborough School District
c. Organization

16 Charter Road
d. Street Address

Acton Ma 01720
e. City/Town f. State g. Zip Code

h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

William Murray
a. First Name b. Last Name

Places Associates Inc.
c. Company

256 Great Road, Suite 4
d. Street Address

Littleton Ma 01460
e. City/Town f. State g. Zip Code

978-486-0334 wmmurray@placesassociates.com
h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

Fee Exempt Fee Exempt Fee Exempt
a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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A. General Information (continued)

6. General Project Description:

the replacement in kind of the existing bridge/boardwalk that crosses Guggins Brook between the school and the library. The project proposes work within the buffer zone and within the wetlands in areas that are currently "disturbed".

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

repair, replacement of public infrastructure - 10.24(9) - replacement of a stream crossing 10.24(10)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

10.24 (10)Middlesex South

a. County

b. Certificate # (if registered land)

b11518/p377 and b63832/p483

c. Book

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|--|--|---|
| a. <input type="checkbox"/> Bank | <u>10'± feet</u> 1. linear feet | <u>already disturbed</u> 2. linear feet |
| b. <input type="checkbox"/> Bordering Vegetated Wetland | <u>500±sq.ft.</u> 1. square feet | <u>already disturbed</u> 2. square feet |
| c. <input type="checkbox"/> Land Under Waterbodies and Waterways | <u>n/a</u> 1. square feet 3. cubic yards dredged | <u>remove existing structures</u> 2. square feet |

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|--|---|---|
| d. <input type="checkbox"/> Bordering Land Subject to Flooding | <u>1. square feet</u> 3. cubic feet of flood storage lost | <u>2. square feet</u> 4. cubic feet replaced |
| e. <input type="checkbox"/> Isolated Land Subject to Flooding | <u>1. square feet</u> 2. cubic feet of flood storage lost | <u>3. cubic feet replaced</u> |
| f. <input type="checkbox"/> Riverfront Area | <u>1. Name of Waterway (if available) - specify coastal or inland</u> | |

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: >20 acres
square feet

4. Proposed alteration of the Riverfront Area:

1,000±sq.ft. 1,000±sq.ft. 0
a. total square feet b. square feet within 100 ft. c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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Provided by MassDEP:

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

| <u>Resource Area</u> | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
|--|---|---|
| a. <input type="checkbox"/> Designated Port Areas | Indicate size under Land Under the Ocean, below | |
| b. <input type="checkbox"/> Land Under the Ocean | _____ | |
| | 1. square feet | |
| | _____ | |
| | 2. cubic yards dredged | |
| c. <input type="checkbox"/> Barrier Beach | Indicate size under Coastal Beaches and/or Coastal Dunes below | |
| d. <input type="checkbox"/> Coastal Beaches | _____ | _____ |
| | 1. square feet | 2. cubic yards beach nourishment |
| e. <input type="checkbox"/> Coastal Dunes | _____ | _____ |
| | 1. square feet | 2. cubic yards dune nourishment |
| | <u>Size of Proposed Alteration</u> | <u>Proposed Replacement (if any)</u> |
| f. <input type="checkbox"/> Coastal Banks | _____ | |
| | 1. linear feet | |
| g. <input type="checkbox"/> Rocky Intertidal Shores | _____ | |
| | 1. square feet | |
| h. <input type="checkbox"/> Salt Marshes | _____ | _____ |
| | 1. square feet | 2. sq ft restoration, rehab., creation |
| i. <input type="checkbox"/> Land Under Salt Ponds | _____ | |
| | 1. square feet | |
| | _____ | |
| | 2. cubic yards dredged | |
| j. <input type="checkbox"/> Land Containing Shellfish | _____ | |
| | 1. square feet | |
| k. <input type="checkbox"/> Fish Runs | Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above | |
| | _____ | |
| | 1. cubic yards dredged | |
| l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage | _____ | |
| | 1. square feet | |
| 4. <input type="checkbox"/> Restoration/Enhancement | If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here. | |
| | _____ | _____ |
| | a. square feet of BVW | b. square feet of Salt Marsh |
| 5. <input checked="" type="checkbox"/> Project Involves Stream Crossings | | |
| | _____ | _____ |
| | a. number of new stream crossings | 1 |
| | | b. number of replacement stream crossings |



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

March 2020 -
MassGIS

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

| | |
|----------------------------------|---|
| (a) within wetland Resource Area | <u>500sq.ft. out of 40± acres = 0.02%</u> percentage/acreage |
| (b) outside Resource Area | <u>500sq.ft. out of 40± acres = 0.02%</u> percentage/acreage |

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boxborough
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Notice of Intent Plan

a. Plan Title

Places Associates Inc,

Susan Carter, P.E.

b. Prepared By

c. Signed and Stamped by

???????

1"=20;

d. Final Revision Date

e. Scale

see cover letter for complete list

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

Fee Exempt

2. Municipal Check Number

3. Check date

Fee Exempt

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

427 and 493 Massachusetts Ave Boxborough
 a. Street Address b. City/Town
 Fee Exempt Fee Exempt
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Town of Boxborough b. Last Name
 a. First Name
 c. Organization
 29 Middle Road
 d. Mailing Address
Boxborough MA 01719
 e. City/Town f. State g. Zip Code
 978-422-1722
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

Owner 1 - Town of Boxborough (same as above)
 a. First Name b. Last Name
 Owner 2 - Acton-Boxborough Regional School District
 c. Organization
 16 Charter Road
 d. Mailing Address
Acton MA 01720
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

| Step 1/Type of Activity | Step 2/Number of Activities | Step 3/Individual Activity Fee | Step 4/Subtotal Activity Fee |
|-------------------------|-----------------------------|--------------------------------|------------------------------|
| Fee Exempt | | | |
| | | | |
| | | | |
| | | | |
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| | | | |

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee: _____ Fee Exempt
 a. Total Fee from Step 5

State share of filing Fee: _____
 b. 1/2 Total Fee **less** \$12.50

City/Town share of filing Fee: _____
 c. 1/2 Total Fee **plus** \$12.50

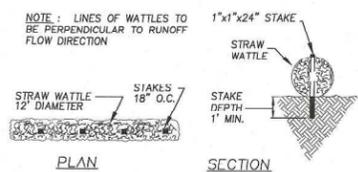
C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

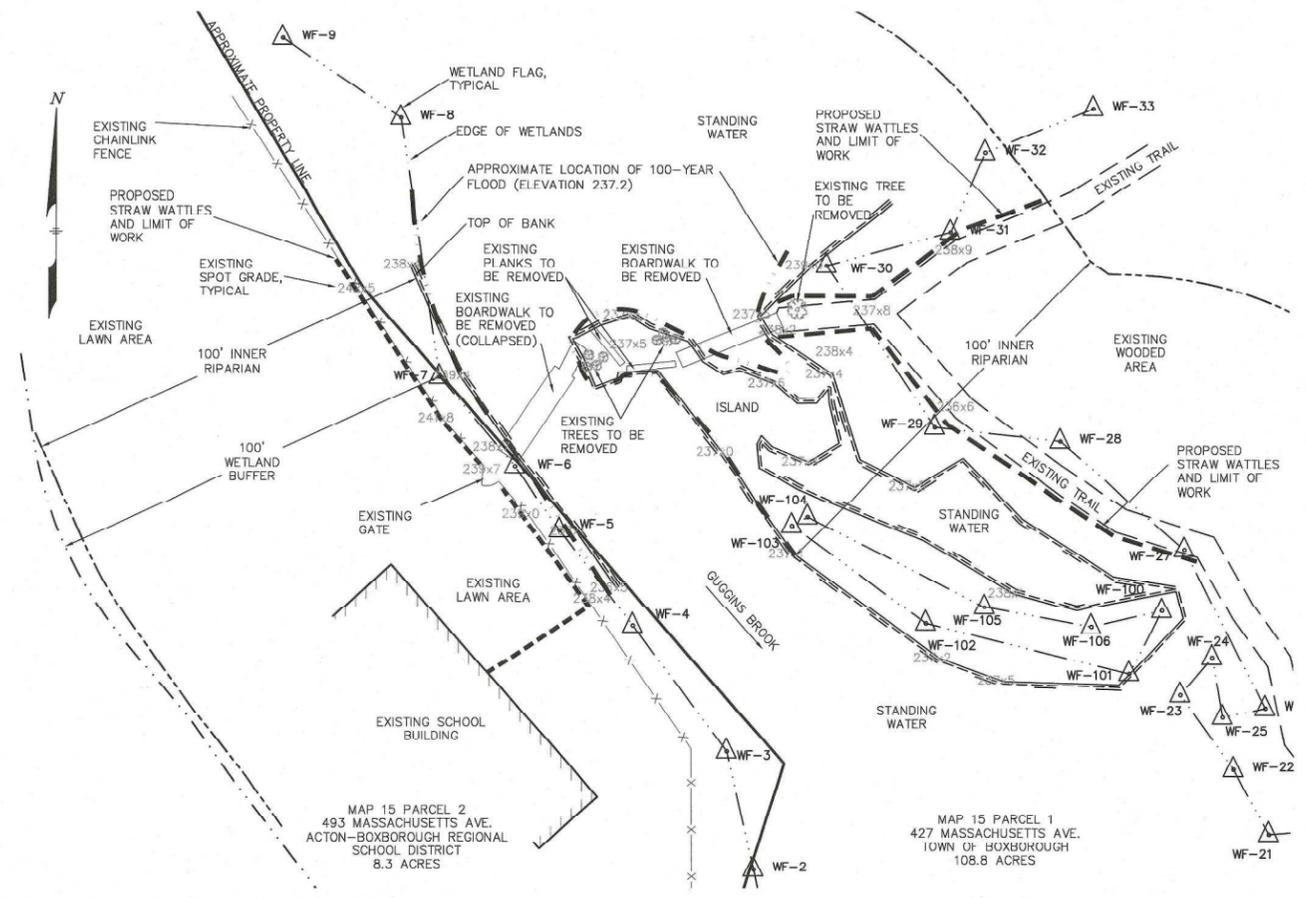
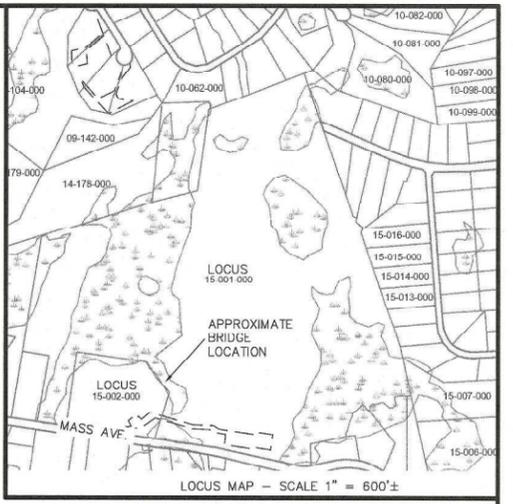
To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



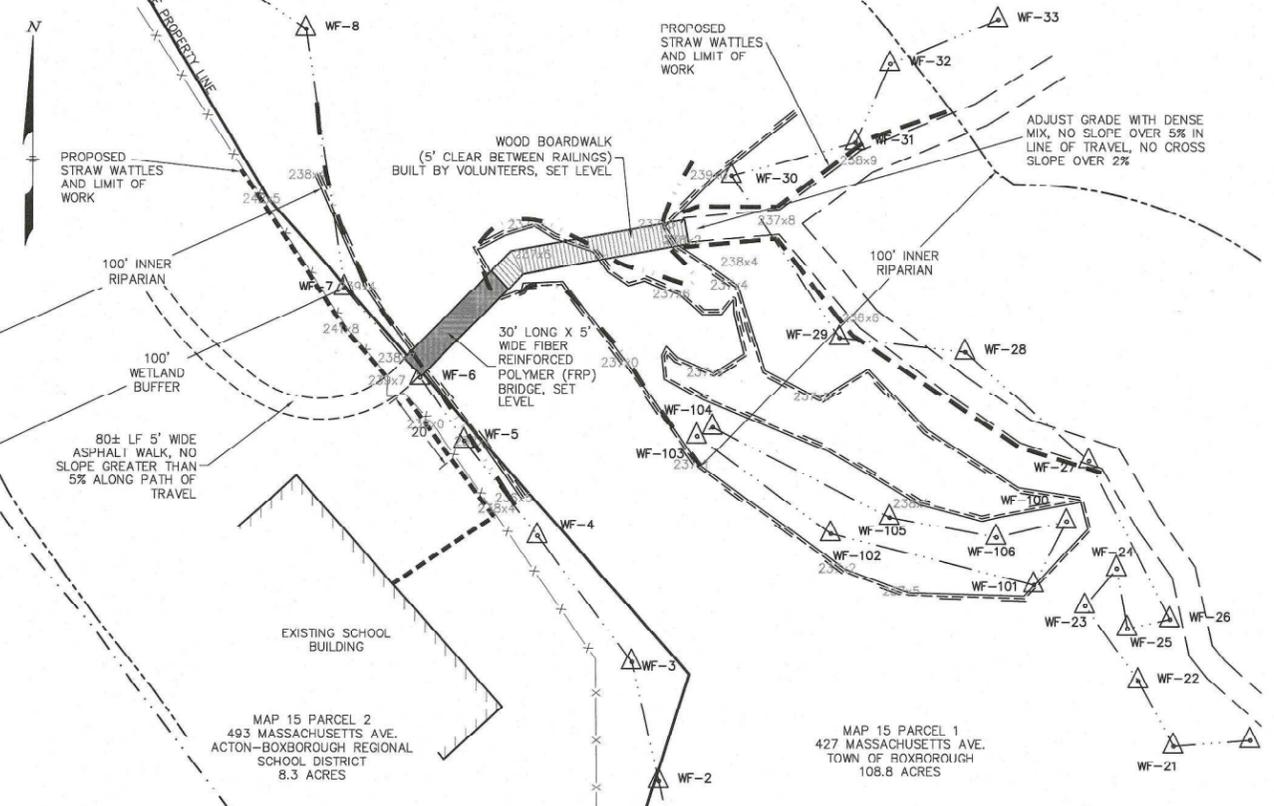
STRAW WATTLES
NOT TO SCALE

- CONSTRUCTION SEQUENCE:**
1. INSTALL EROSION CONTROL BARRIER.
 2. REMOVE EXISTING STRUCTURES AND TREES.
 3. INSTALL STRUCTURAL SUPPORTS.
 4. ASSEMBLE AND INSTALL BRIDGE.
 5. CONSTRUCT SIDEWALK.
 6. CONSTRUCT SIDEWALK.
 7. LOAM, SEED AND STABILIZE ANY DISTURBED AREAS AS SOON AS SITE WORK PERMITS.
 8. REMOVAL OF EROSION CONTROL BARRIER AFTER THE SITE IS FULLY STABILIZED AND REMOVAL HAS BEEN APPROVED BY THE CONSERVATION COMMISSION AND/OR TIC DESIGN ENGINEER.

- PLAN NOTES:**
1. PROPERTY LINE INFORMATION SHOWN IS FROM ASSESSORS DATA AND NOT THE RESULT OF SURVEY BY PLACES ASSOCIATES.
 2. WETLANDS SHOWN WERE FLAGGED AND SURVEY LOCATED BY PLACES ASSOCIATES IN JUNE 2019.
 3. BUILDINGS, TRAILS AND OTHER SURFACE FEATURES SHOWN WERE SURVEY LOCATED BY PLACES ASSOCIATES IN JUNE 2019.
 4. THE SITE IS LOCATED WITHIN A NATURAL HERITAGE PRIORITY HABITAT OF RARE SPECIES AS SHOWN ON MASSGIS.
 5. PORTIONS OF THE SITE ARE LOCATED WITHIN THE 100 YEAR FLOODPLAIN AND FLOODWAY (ELEVATION 237.2) F.I.R.M. MAP NUMBER 25017C332F DATED JULY 7, 2014
 6. LOCATIONS BASED ON MASS STATE PLAN COORDINATES (NAU 83), ELEVATIONS BASED ON NAV88.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
 8. THIS PLAN IS NOT INTENDED TO SHOW THE DESIGN OF THE STRUCTURAL SUPPORTS.
 9. THE CONTRACTOR SHALL COORDINATE THE STRUCTURAL SUPPORTS AND THE CONNECTIONS BETWEEN THE BRIDGE AND THE STRUCTURAL SUPPORTS.
 10. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
 11. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
 12. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH O.S.H.A. REGULATIONS AND STATE AND LOCAL REQUIREMENTS.
 13. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND ALL APPROPRIATE UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 14. SEE "BOARDWALK CONSTRUCTION GUIDELINES" PREPARED BY THE ACTON LAND STEWARDSHIP COMMITTEE, ACTON MASSACHUSETTS FOR GUIDELINES ON BOARDWALK CONSTRUCTION.



EXISTING CONDITIONS AND DEMOLITION



PROPOSED CONSTRUCTION

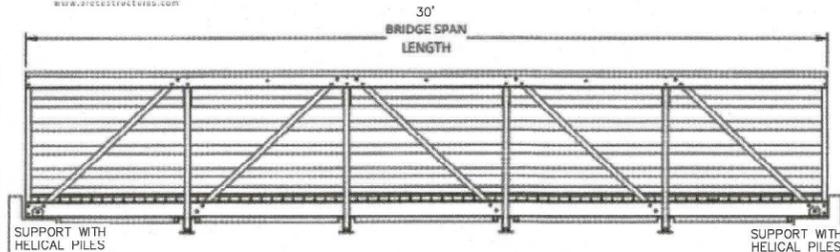


FIGURE 1. TYP. ELEVATION

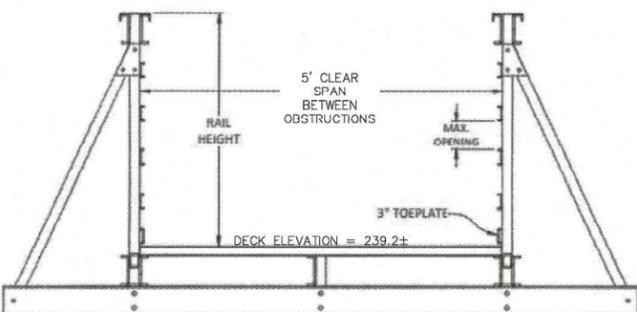


FIGURE 2. TYP. CROSS-SECTION

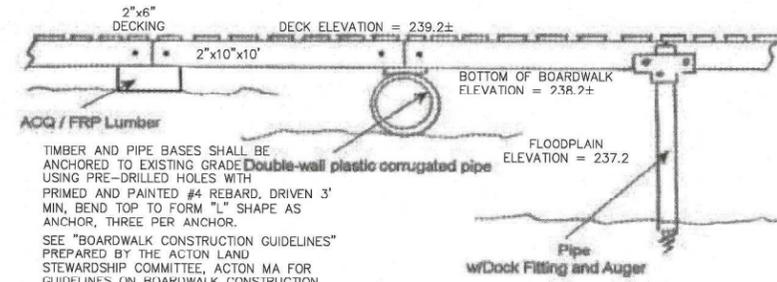


Figure 2 - Boardwalk support types



NOTICE OF INTENT PLAN

LOCATION: 493 MASSACHUSETTS AVENUE
TOWN: BOXBOROUGH, MASSACHUSETTS
PREPARED FOR: TOWN OF BOXBOROUGH

SCALE: 1"=20' DATE: MARCH 2020

PLACES Associates, Inc.

- Planning
- Landscape Architecture
- Civil Engineering
- Surveying

256 Great Road, Suite 4
Lillington, MA 01460
(978) 484-2334
www.placesassociates.com

PROJECT No.: 5331 PLAN No.: 5331 NOI PLAN

EROSION & SEDIMENTATION CONTROL PLAN

GENERAL:

1. THIS PLAN IS PART OF A SET OF DOCUMENTS THAT ARE TO BE VIEWED AND REVIEWED IN THEIR ENTIRETY, SUCH DOCUMENTS INCLUDE THE CONSTRUCTION SPECIFICATIONS, CONSTRUCTION PLANS AND ANY PERMITS ISSUED BY THE CITY/TOWN OR OTHER REGULATORY AGENCIES.
2. THIS IS A PERFORMANCE SPECIFICATION WHICH THE CONTRACTOR SHALL APPLY APPROPRIATE MEANS AND METHODS TO ACHIEVE.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY ORDERS OF CONDITIONS ISSUED BY THE CITY/TOWN OR ANY OTHER REGULATORY AGENCY.
2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
3. THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
4. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN AREAS OF FUTURE CONSTRUCTION. CONSTRUCTION IS PERMITTED BEYOND THE LIMIT OF DISTURBANCE ONLY WHEN ADDITIONAL DRAINAGE MEASURES OR STABILIZATION MEASURES ARE NEEDED, AND SHALL BE SUBJECT TO APPROVAL BY THE CITY/TOWN. PRIOR TO WORK OUTSIDE OF DESIGNATED LIMIT OF DISTURBANCE LINE, THE LIMIT OF DISTURBANCE LINE SHALL BE THE EROSION CONTROL BARRIER.
5. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES ON-SITE. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OUTSIDE OF THE 100' WETLANDS BUFFER ZONE.
7. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

PRELIMINARY SITE WORK:

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS OR SUBJECT TO EROSION CONDITIONS SUCH AS INTENSE RAIN, WIND OR OTHER EXPOSURE.
2. STOCKPILES SHALL BE LOCATED AS SPECIFIED HEREIN AND AS REQUIRED, SHOULD ADDITIONAL AREAS BE NEEDED THEY SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT. IF A STOCKPILE IS LOCATED ON A SLOPE, THE RUNOFF SHALL BE DIRECTED AWAY FROM THE PILE.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL STRAWBALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
4. IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE MAY - NOVEMBER CONSTRUCTION SEASON, THE SITE DRAINAGE SYSTEM SHALL BE INSTALLED, MAINTAINING HYDRAULIC CAPACITY, PRIOR TO ANY ROUGH GRADING IN THE BUFFER ZONE.
5. INLET SEDIMENT CONTROL DEVICES SHALL BE INSTALLED ON ALL CATCHBASINS ADJACENT TO THE LIMIT OF WORK, EVEN IF OUTSIDE THE DELINEATED LIMIT OF WORK. THE GENERAL CONTRACTOR SHALL MONITOR AND EMPTY AND/OR REPLACE ON AN AS NEEDED BASIS.

LANDSCAPING:

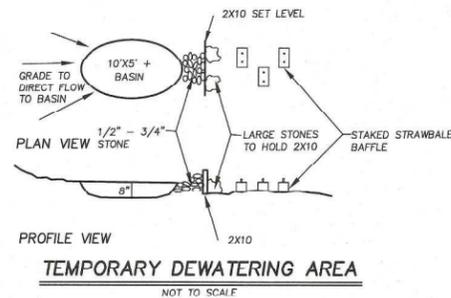
1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
2. CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
3. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH STRAW, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
4. A MINIMUM OF 6" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
5. SEED APPLICATIONS SHALL BE IN ACCORDANCE WITH THE GRASS AND SLOPE COVER SPECIFICATIONS.

PRE-CONSTRUCTION:

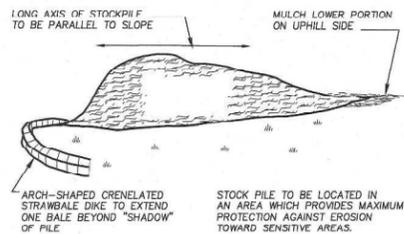
1. AN EROSION CONTROL BARRIER SHALL BE INSTALLED AS DEPICTED ON THE SITE PLAN, BETWEEN THE AREAS TO BE DISTURBED AND WETLAND AREAS. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE SITE PLAN ARE THE MINIMUM REQUIRED TO PROTECT THE ON & OFF SITE DRAINAGE SYSTEMS.
2. PHOTOGRAPHS AND/OR VIDEO IMAGES OF THE PRE-CONSTRUCTION CONDITION OF THE SITE AND SURROUNDING AREAS, ESPECIALLY THE ADJACENT STREETS SHALL BE TAKEN, DEVELOPED AND DATED. A COPY OF THESE MATERIALS SHALL BE SUBMITTED TO THE PERMIT GRANTING AUTHORITY AND OWNER FOR THEIR FILES. THESE PICTURES AND IMAGES SHALL REFERENCE EXISTING SITE CONDITIONS AND PERMANENT REFERENCE MARKS TO ENABLE RECOGNITION OF THE AREA BEING PHOTOGRAPHED, AND SHALL REPRESENT A COMPREHENSIVE VIEW OF THE SITE PRIOR TO DEVELOPMENT.
3. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA ON A PORTION OF THE AREA TO BE DISTURBED FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS. THE STAGING AREA SHALL BE OUTSIDE OF THE 100' WETLANDS BUFFER ZONE.
4. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: STRAWBALES, SILT FENCE AND CRUSHED STONE.
5. A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS.
6. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

GENERAL CONSTRUCTION REQUIREMENTS:

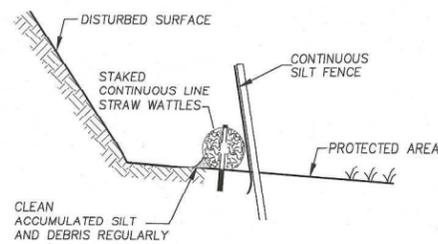
1. ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL TAKE PLACE OUTSIDE OF THE 100 FOOT BUFFER ZONE TO THE ENTRANCE TO THE DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS OR DIVERSION SWALES, AND BE PERFORMED OFF-SITE IF POSSIBLE.
2. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS IS ALLOWED IN THE 100 FOOT BUFFER ZONE. THE BURIAL OF STUMPS, CONSTRUCTION DEBRIS OR OTHER MATERIALS SHALL NOT BE ALLOWED ANYWHERE ON-SITE.
3. NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS OR EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.
4. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
5. ALL SUBCONTRACTORS SHALL BE NOTIFIED THAT CLEANING OF EQUIPMENT WITHIN THE 100' WETLAND BUFFER IS NOT PERMITTED. INCLUDING, BUT NOT LIMITED TO, CONCRETE TRUCKS, PAINTERS, PLASTERERS, ETC.



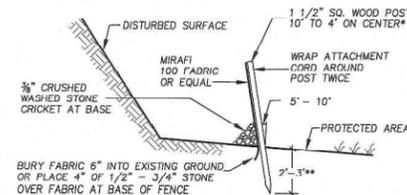
TEMPORARY DEWATERING AREA
NOT TO SCALE



TEMPORARY STOCKPILE
NOT TO SCALE

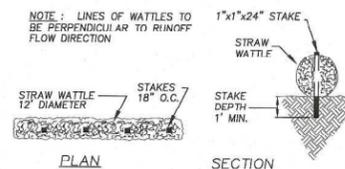


EROSION CONTROL BARRIER
NOT TO SCALE



* STEEL POST MAY BE SUBSTITUTED. DISTANCE BETWEEN POSTS TO VARY AS REQUIRED BY TRIBUTARY AREA: 10' FOR 100 SF LF FENCE, 6' FOR 500 SF LF FENCE.
** DEPTH TO VARY WITH TRIBUTARY AREA: 2' FOR 100 SF ETC. IF POST IS TO BE SET IN PEAT OR UNSTABLE SOILS, THEN 3' OR DEPTH NECESSARY TO PROVIDE A STABLE POST FOR LOADED FENCE CONDITIONS

SILT FENCE DETAIL
NOT TO SCALE



STRAW WATTLES
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL DETAILS

LOCATION: 493 MASSACHUSETTS AVENUE
CITY/TOWN: BOXBOROUGH, MASSACHUSETTS
PREPARED FOR: TOWN OF
BOXBOROUGH

SCALE: AS NOTED DATE: AUGUST/PLOT 2020

PLACES Associates, Inc.

· Planning
 · Landscape Architecture
 · Civil Engineering
 · Surveying

256 Great Road, Suite 4
 Littleton, MA 01460
 (978) 486-0334
 www.placesassociates.com

PROJECT No.: 5331 PLAN No.: 5331 NOI E&S





MASSWILDLIFE

DIVISION OF FISHERIES & WILDLIFE

1 Rabbit Hill Road, Westborough, MA 01581

p: (508) 389-6300 | f: (508) 389-7890

MASS.GOV/MASSWILDLIFE

August 27, 2020

Boxborough Conservation Commission
25 Middle Rd
Boxborough MA 01719

Alissa Weiss
Town of Boxborough
29 Middle Road
Boxborough MA 01719

RE: Applicant: Alissa Weiss, Town of Boxborough
 Project Location: 427 & 493 Massachusetts Avenue
 Project Description: Footbridge replacement
 DEP Wetlands File No.: Unavailable
 NHESP File No.: **20-39556**

Dear Commissioners & Applicant:

The Natural Heritage & Endangered Species Program of the Massachusetts Division of Fisheries & Wildlife (the "Division") received a Notice of Intent with site plans (dated March 2020) in compliance with the rare wildlife species section of the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.58(4)(b), 10.59). The Division also received the MESA Review Checklist and supporting documentation for review pursuant to the MA Endangered Species Act Regulations (321 CMR 10.18).

WETLANDS PROTECTION ACT (WPA)

Based on a review of the information that was provided and the information that is currently contained in our database, the Division has determined that this project, as currently proposed, **will not adversely affect** the actual Resource Area Habitat of state-protected rare wildlife species. Therefore, it is our opinion that this project meets the state-listed species performance standard for the issuance of an Order of Conditions.

Please note that this determination addresses only the matter of **rare** wildlife habitat and does not pertain to other wildlife habitat issues that may be pertinent to the proposed project.

MASSACHUSETTS ENDANGERED SPECIES ACT (MESA)

Based on a review of the information that was provided and the information that is currently contained in our database, the Division has determined that this project, as currently proposed, **will not result in a prohibited Take** of state-listed rare species. This determination is a final decision of the Division of Fisheries and Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division

MASSWILDLIFE

pursuant to the MESA. This project may be subject to further review if no physical work is commenced within five years from the date of issuance of this determination, or if there is a change to the project.

Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions regarding this letter please contact Melany Cheeseman, Endangered Species Review Assistant, at (508) 389-6357.

Sincerely,

A handwritten signature in black ink, reading "Everose Schlüter". The signature is written in a cursive, flowing style.

Everose Schlüter, Ph.D.
Assistant Director

cc: MA DEP Central Region
William Murray, PLACES Site Consultants, Inc
Town of Boxborough
Acton-Boxborough Regional School District