

STAMSKI AND MCNARY, INC.

1000 Main Street
Acton, Massachusetts 01720
(978) 263-8585
FAX (978) 263-9883

JOSEPH MARCH, P.E., P.L.S.
GEORGE DIMAKARAKOS, P.E.

March 17, 2017

Town of Boxborough
Adam L. Duchesneau, AICP Town Planner
29 Middle Road
Boxborough, Massachusetts 01719

RE: Site Plan Approval
Two-family dwellings, reserved exclusively for elderly occupancy
Boxborough Town Center, LLC
700, 750 & 800 Massachusetts Avenue

Dear Mr. Duchesneau,

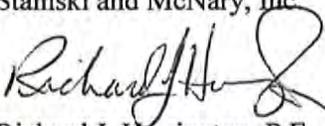
On behalf of our client, Boxborough Town Center, LLC, we hereby submit the following information and responses to comments received to date for the referenced site. The purpose of this letter is to provide initial responses and feedback for use during the continued public hearing process for the referenced Site Plan Approval, prior to updating the Site Plan.

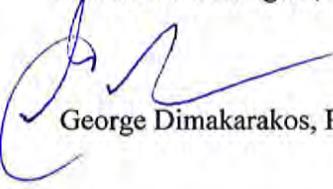
Attachments:

- A. Response to Places, Inc. Site Plan Review Letter Dated January 23, 2017;
Prepared By: Stamski and McNary, Inc. Date: March 17, 2017.
- B. Response to Town Planner Items for Adjustment Email Dated March 8, 2017;
Prepared By: Stamski and McNary, Inc., Date March 17, 2017.
- C. Commonwealth of Massachusetts; Department of Fire Services;
Facts About Blasting for Massachusetts Property Owners

We look forward to meeting with the Board again to discuss the Site Plan Approval for Two-family dwellings reserved exclusively for elderly occupancy. Thank you for your attention to this matter. Please do not hesitate to contact our office with any questions.

Respectfully,
Stamski and McNary, Inc


Richard J. Harrington, P.E.


George Dimakarakos, P.E.

Responses to Town Planner Items for Adjustment - Email dated March 8, 2017

Prepared By: Stamski and McNary, Inc.

Date: March 17, 2017

1. *Change the project name "Regency at Boxborough" to avoid confusion with the recently rebranded hotel in Boxborough entitled "Boxborough Regency"*

An alternate project name will be provided which removes Regency from the name.

2. *Reduce the number of dwelling units in the project*

The project team has reduced the number of dwelling units as follows:

		Dwelling Units	
2012 Zoning Bylaw	Allowable Density	314	100%
January 20, 2015	Proponent	208	66%
March 30, 2015	Proponent	158	50%
September 9, 2015	Builder	100	32%

The Applicant has addressed this concern on multiple occasions within the permitting process with the Town prior to Site Plan submittal. The number of dwelling units in the project was recently reduced from 158 units to 100 units prior to the Preliminary Consultation with the Board. Prior to this, the Applicant reduced the project density from 208 units to 158 units during the Conceptual meetings with the Board and Design Review Board.

3. *Please continue to explore, investigate, and discuss with the Fire Chief the status of the emergency access roadways from Stow Road and Priest Lane (gates, signage, narrower roadways, etc.)*

The Applicant has met with the Fire Chief, and the gates at the emergency access roads will be removed. Signage and entrance design features will be incorporated at the secondary access points to direct residents to the primary access. Now that primary access is from Massachusetts Avenue, there is also the possibility to reduce pavement width within Sheriff's Meadow Easement from twenty-four feet down to a width acceptable to the Board and emergency personnel.

4. *Please provide the following density comparisons:*

- o *Dwelling units per acre only using the area to be developed at the rear portion of the project site compared to the unit density at Sheriff's Meadow and Tisbury Meadow*

All three properties comply with the dwelling units per area formula within the 2012 Zoning Bylaw which applies to the entire project land area and not a portion of the project site. The allowable density, for this proposed use, per Section 5004(1), shall not exceed 10 units/80,000 square feet land area. The current density proposed for one-hundred units within this 2,519,642 square foot land area is 10 units/251,964 square feet.

- o *Bedrooms per acre only using the area to be developed at the rear portion of the project site compared to the bedrooms per acre at Sheriff's Meadow and Tisbury Meadow*

All three properties meet or exceed the current Title 5 regulations applicable to allowable bedrooms per acre under 310 CMR 15.00. The allowable bedroom count utilizes the entire project land for projects which utilizes on-site water supply and on-site sewage disposal. The site will be served by a private wastewater treatment facility which typically has a greater amount of bedrooms than a traditional Title 5 on-site sewage disposal system. The exclusion of the

front portion of the project site and buffer zone is not based on current accepted design standards and is not excluded from current applicable regulations.

5. *Provide the proposed percentage and square footage of pervious surface at the project site without factoring in the wetlands and their 100 foot buffers*

Section 5002, of the 2012 Zoning Bylaw, limits the Maximum Lot Coverage (%) by buildings, structures, and impervious to thirty-five percent (35%) within the Town Center District.

Footnote 3, requires the Applicant to utilize the entire site as shown on a Site in accordance with Section 8000, excluding sidewalks to determine this calculation. The proposed Lot Coverage for this site is about twenty-percent (20%). Therefore, since we are not exceeding this Lot Coverage threshold, this Site Plan meets the pervious surface requirements under the Zoning Bylaw.

6. *Incorporate some number of affordable dwelling units in the project* The allowable Site Plan density under the regulations does not require the incorporation of affordable units.

7. *Examine moving the front door of each unit to the front of the building and incorporating front porches* This option has been examined and is not feasible with the current product offering. This product is a result of Toll Brothers many years of design and sales experience for active adult communities throughout the country.

8. *Flip the location of Unit # 22 and the Wastewater Treatment Facility or examine a way the WWTF can be moved deeper into the project site away from abutting properties*

It is not possible to flip the Treatment Plant Building with Unit #22 due to the minimum acceptable distance to a dwelling of fifty-feet (50'). The Treatment Plant Building is currently setback two-hundred feet (200') from the property boundary. This distance is over four times the minimum acceptable distance to the property boundary of fifty-feet (50').

9. *Provide elevations for the proposed Water Treatment Building and Wastewater Treatment Facility* Dimensions and height of the accessory buildings are subject to the requirements of the applicable regulating authority. The architecture and materials used for the building will be similar to the proposed townhomes.

10. *Implement a wider range color palette for the primary color of each building –* Supplemental color information will be provided for review

11. *Only permit construction access from Route 111/Massachusetts Avenue. If this is not possible, please explain why any construction access would be required from Stow Road or Priest Lane* The Applicant recognizes the request to direct access away from abutting properties and will limit access when possible during construction. However, use of the current access rights from Stow Road, Massachusetts Avenue and Priest Lane will need to remain available to the Applicant and Developer without restrictions at all times. Proper erosion controls and signage will be provided at each access location per applicable regulations.

12. *All utilities should only be brought in from Route 111/Massachusetts Avenue*

The Applicant recognizes this request, however, it is not possible to agree to this request. All utility connections provided from abutting public roads will be installed in accordance with current industry standards. Utilities proposed from Massachusetts Avenue, may also require direct access or loop connection to Stow Road and/or Priest Lane.

13. *Explain how the wastewater from the pool will be managed. Where will this water go, how will it be treated, and where will it be discharged?*

The wastewater will be managed by the association in accordance with the applicable Mass DEP requirements regarding pool discharge. We are confident that the Notice of Intent submittal will not include any proposed pool wastewater discharge from the pool within the buffer zone.

14. *Explain how an adequate number of parking spaces have been provided in the clubhouse parking lot. It seems the Zoning Bylaw calls for 50 parking spaces for this type of use*

The current proposal of thirty-six parking spaces is based on previous developments built by Toll. The Site Plan Update will include provisions for fifty (50) parking spaces at the clubhouse.

15. *The sidewalk throughout the project site should be delineated with some type of material/pavement change (such as stamped asphalt) where it crosses the 40 foot width of driveways in the project*

Pending a discussion with the Board, the Site Plan Update will remove the proposed private sidewalk along Drive A, Drive B and Drive C per the request of the Applicant and Builder. The removal of the sidewalk will eliminate this concern, allow the units to be moved closer to the driveway and further from the site perimeter. The footprint of the individual driveways will also be reduced. A sidewalk will still be provided from the clubhouse to the sidewalk along Massachusetts Avenue.

16. *Provide a sidewalk and crosswalk across the access roadway on the north side of the clubhouse parking lot* Sidewalk in front of clubhouse will be extended to the north.

17. *Provide a sidewalk and public pedestrian access from Priest Lane to allow access all the way to Route 111/Massachusetts Avenue*

The Applicant is proposing the removal of the sidewalk network.

18. *Sidewalk along Route 111/Massachusetts Avenue should be extended to the western most property line* Sidewalk will be extended to property line within State Highway Layout.

19. *In locations where a guard rail needs to be implemented as part of the sidewalk installation along Route 111/Massachusetts Avenue, the guard rail should be located between the sidewalk and the travel lane* This design request will be discussed with MassDOT.

20. *Consideration of a sidewalk through Sheriff's Meadow/Tisbury Meadow and then northward on Stow Road to Route 111/Massachusetts Avenue*

The Applicant is proposing the removal of the sidewalk network.

21. *Lighting cut sheets for all proposed light fixtures should be provided* Lighting Cut sheets will be provided.

22. *A Lighting Plan should be provided for the project, at a minimum to show the illumination at the boundaries of the project site* A photometric plan of the site lighting will be provided.

23. *Retained vegetation and/or additional screening around the perimeter of the project site*

The Landscape Plan update will include areas of adjusted limit of work lines and/or screening.

24. *Retain and incorporate existing mature trees within the project site* The Updated Site Plan and Landscape Plan update will include areas where existing trees will be maintained.

25. *Implement landscape screening around the proposed transformer locations within the project site* Landscape plan update will include a detail for this situation

26. *Provide vegetative screening at the rear of the four (4) units in Sheriff's Meadow and the side of the unit in Tisbury Meadow along the Stow Road access roadway*

Landscape plan will include perimeter screening for the units noted. There will be no screening of the emergency access road.

27. *An additional well for irrigation will not be permitted on the project site unless evidence can be provided to the Board of Health which shows there will be no detrimental effect to adjacent drinking water wells* The Standard guidelines for irrigation wells will be followed including any required review by the Board of Health
28. *Discuss or provide information regarding the impact on the well water depth of adjacent drinking water wells and the impacts to surrounding wells from blasting. If damage occurs to abutting wells or even buildings from blasting, how will this be addressed?*
Attached please find the requested information:
Commonwealth of Massachusetts, Department of Fire Services;
Facts about Blasting for Massachusetts Property Owners
www.mass.gov/eopss/docs/dfs/osfm/forms/blasting-prop-owners.pdf
29. *Entry piers at the front of the property should be setback 37.5 feet from the front property line*
We believe there is a zero-foot (0') setback to the proposed piers, because a pier is a landscape feature, which is excluded from the definition of a structure (Zoning Bylaw Section 2180).
30. *Provide bicycle parking accommodations at the clubhouse*
Site Plan update will include a designated bicycle parking area at clubhouse.
31. *Will vehicles be allowed to park on the roadway within the project?*
Overnight parking will be restricted along main private driveways (Drive A, Drive B & Drive C).
Temporary parking will be allowed along the private driveways during daylight hours.
32. *Please note a Performance Guarantee will be required for the project's roadway*
A Performance Guarantee will provided in accordance with applicable regulations.

Responses to Places Associates, Inc. - Review Letter dated January 23, 2017

Prepared By: Stamski and McNary, Inc.

Date: March 17, 2017

Zoning- based on the 2012 By-law:

1. It is our understanding that Section 4400 of the May 2012 Zoning Bylaw, is not applicable to this Site Plan, because a Two-family dwelling, reserved exclusively for elderly occupancy is a permitted use within the Town Center District under Section 4003(1).
2. Please note that it is our understanding that Section 4400(9) is not applicable to this Site Plan since a Special Permit is not required for the proposed Use. However, please see similar comment #10.
3. The Site Plan update will include the gross floor area calculations broken down for each Building Style within the Land Use Data Table on Sheet 2 per applicable regulations.
4. Site Plan update will include dimensions and details for parking spaces, ramps and crosswalks to ensure ADA compliance. The word "Generally" will be deleted (Note 2).
5. Site Plan update will add the parking space calculation requirements to the Land Use Data Table on Sheet 2 to illustrate compliance with Section 6006 as follows:

Residential two-family: Two spaces per dwelling minimum; Two Spaces provided in each garage.

Association Building (Clubhouse): One space per two membership; 100 dwellings/2 = 50 spaces minimum; 36 spaces currently shown, Site Plan to be updated to provide fifty spaces total. Per Section 6009, a portion of the spaces may be reduced by the Planning Board, provided that the site has sufficient reserve area. Sketch to be provided to Board for discussion.

6. Since Clubhouse is under 5,000 square feet, an off-street loading space is not necessary.
7. Signs will be in compliance with Zoning Section 6300.
8. A Special Permit Application with the ZBA has been filed for the sidewalk along Massachusetts Avenue frontage to be located within one-hundred feet of the W-District.

Site Plan Regulations:

9. The Site Plan update will add the anticipated total area of all the buildings to the Land Use Data Table on Sheet 2 as follows:

Two-family dwellings: (66'±W x 73.5'±L) 50 buildings x 4,851 s.f. per building	242,550± square feet
Clubhouse:	3,500± square feet*
Pool/Mail Center: (21'± x 23'±)	483± square feet*
Water Treatment Building (20'±x24'±)	480± square feet**
Wastewater Treatment Building: (40'± x 40'±)	1,600± square feet***
Total anticipated Building Area	248,613± or 250,000± square feet.

*Actual Square footage subject to adjustment by Builder prior to Building Permit.

**Actual Dimensions of Water Treatment Building subject to MassDEP Approval.

***Actual Dimensions of Wastewater Treatment Building subject to MassDEP Approval.

10. The Landscape Plan update will provide additional screening details for abutting properties.
11. Site Plan update will include Details for stop signs, street signs "Private Way" and posts.
12. The designation of proposed open space and exclusive use areas for the units is not necessary for this development.
13. Per Town Planner – The Board has hired a Traffic Consultant to review study.
14. Site Plan update will show Five (5) bicycle spaces (10% of 50 spaces) at Clubhouse within twenty-five feet (25') of the Clubhouse Entry.
15. Landscape Plan will be updated as stated below in 16. & 17.
16. The clubhouse will be cleaned and trash picked up on a regular basis, therefore a dumpster is not proposed or necessary. Loading space see comment 6. Above.
17. The Applicant will investigate the use of alternative surface treatments in the clubhouse area.
18. The Site Plan and Landscape Plan will be revised to show limits of clearing and tree-save areas.
19. The Site Plan shows the general location of the proposed sidewalk within the State Highway Layout. A separate design plan will be submitted, to MassDOT, for the sidewalk. This plan will include a handicap ramp and crosswalk at Stow Road with applicable signage and markings. The Site Plan update will show the sidewalk extended to the west to the property line within State Highway Layout. Additional design requests regarding sidewalk layout will be considered and discussed with MassDOT.
20. An initial preliminary level meeting was conducted by our office on February 19, 2016 with the Fire Chief and the Police Chief. In response to the Chief's comments, the proposed gates at Priest Lane and Stow Road will be removed from the plans. A follow-up meeting will be held to review access to the clubhouse and to discuss acceptable signage to restrict access at these secondary access locations.
21. A construction detail will be provided for the proposed sidewalk crossing at the primary entrance. In response to comments received, the Applicant proposes the removal of the internal sidewalk network along Drive A, Drive B & Drive C. A sidewalk will still be provided from the Clubhouse to the sidewalk along Massachusetts Avenue. The removal of this internal sidewalk will reduce impervious area and increase vegetative screening along the site perimeter near Stow Road and Burroughs Road. The depth of individual driveway will also be reduced allowing buildings to be moved forward.

Stormwater:

22. Site has been designed to meet the requirements for a critical area. Narrative to be updated.
23. The Stormwater areas mentioned will be reviewed and adjusted per recommendations.
24. Stormwater update will match areas.
25. Gutters will be provided on units that will be connected to roof drywells.

26. Water lines and drain lines will be added to sheets as requested.
27. To be addressed.
28. The infiltration rate of 2.41 ft/day and 1.02 ft/day (SMA-1) is utilized across the site within the proposed infiltration areas except for SMA-6 & SMA-8 which are proposed in sandy areas of the site. In place of turf and loam (CH.2 page 91), a basin liner of coarse sand (see detail Sheet 25 of 30) is provided to maintain infiltration rate of 8.27 ft/day within these two basins.
29. Stormwater update will address this concern.
30. Stormwater update will correct this item.
31. In an effort to minimize drainage structures, the space between the chambers has been widened to allow a solid drain line to travel between the recharge area. The drain line will not interfere with the proposed recharge area.

Landscape Plan Comments:

32. Landscape Plan update will include Unit numbers and Stationing.
33. a. Bocce Court is in area of existing driveway access where existing vegetation is minimal or absent. Additional screening will be reviewed for this area.
 - b. Limit of clearing and use of screening will be reviewed for this area.
 - c. Limit of clearing and use of screening will be reviewed for this area.
34. RLA to review.
35. RLA to review.
36. The Applicant will investigate the use of alternative surface treatments in the clubhouse area. The plans will be revised to reflect granite curbing at the entrance island and radii.
37. a. Species: RLA to review.
 - b. Spacing/Placement:
 - i. RLA to review.
 - ii. RLA to review.
 1. RLA to review.
 2. RLA to review.
38. RLA to review. A New England Erosion Control/Restoration Mix is specified for the Slopes of the stormwater basins within General Note: (Sheet 30 of 30).
39. The applicable requirements within 330 CMR 31.00 for this site will be followed during and after construction.
40. RLA to review.
41. RLA to review.
42. RLA to review.
43. RLA to review.

- 44. RLA to review.
- 45. An irrigation system is anticipated for this project.

Site Lighting:

- 46. The six street light posts are proposed as follows: two at the clubhouse, one at the Water Treatment Building, one at the Wastewater Treatment Building and one at each intersection within the development.
- 47. Applicant to provide additional information regarding proposed lighting as requested.
- 48. The entry sign shall include lighting as allowed by the sign bylaw.

Additional Comments:

- 49. The 54'± of stonewall disturbance is applicable to Priest Lane (Sheets 7, 23 & 29). The Stonewall removal on Sheet 5 along Massachusetts Avenue is exempt from the Stone Wall Removal Bylaw because it is a State Highway Layout.
- 50. Details will be added to plans for alternative methods of demarcating the secondary access locations to deter through traffic.
- 51. A detail will be provided to MassDOT on a separate permitting set of plans.
- 52. Vertical curbing will be provided along sidewalk near clubhouse parking spaces.
- 53. Engineer to review with Fire Chief.
- 54. Site Plan Update will include additional dimensions for construction.
- 55. Site Plan Update will address this item.
- 56. Site Plan Update will address this recommendation.



Department of Fire Services
Commonwealth of Massachusetts

Facts About Blasting

for Massachusetts Property Owners



www.mass.gov/dfs

Department of Fire Services
Division of Fire Safety
P. O. Box 1025 - State Road
Stow, Massachusetts 01775
978-567-3375 • Fax 978-567-3199

Blasting Facts

- The Institute of Makers of Explosives (IME) reports that in 2012 over 12 million pounds of commercial explosives were sold for use in Massachusetts.
- Explosives are used directly or indirectly in almost every aspect of our lives. Car, trucks, roads, bridges, homes, and office buildings are all built with products that had their origins with explosives. Even baby powder has its origin with explosives!
- Mining and construction are the two most common uses of explosives.

Blasting Regulations

Commercial explosives and the blasting industry are regulated by a number of state and federal agencies. In Massachusetts, 527 CMR 1.00 is the primary regulation that applies to explosives licensing, permitting, storage, sales, use, transportation, and manufacture. 527 CMR 1.00 is administered through the Department of Fire Services, Division of Fire Safety.

Federal agencies that regulate explosives include:

- Alcohol, Tobacco, Firearms and Explosives (ATF) – sales and storage
- Department of Transportation (DOT) – transportation
- Occupational Safety and Health Administration (OSHA) – construction use and handling
- Mining Safety and Health Administration (MSHA) – mining use and handling

Massachusetts Regulations

527 CMR 1.00

Key Parts of the Regulation

Section 1.12.8.39.1 Licenses, Permits, Certificates

- Certificate of Competency
- Explosives Users Certificate
- Use and Handling Permit
- Sale of Explosive Material



Section 65.9.1 Storage

Section 65.9.1 Transportation

Section 65 Use of Explosive Materials (Blasting)

- Blast Analysis
- Blast Design Plan
- Allowable Limits of Effects of Blasting
- Preblast Inspection Surveys
- Blasting Damage Complaint

Section 65.9.15.1.1.3 Pre/Post Blast Inspection Waiver

Section 65.9.18 Blasting Regulatory Review Form (FP-296)

Important parts of 527 CMR 1.00 for the homeowner to be aware of:

Section 65.9.8 Blast Analysis

A document from the blasting company considering the effects of blasting on adjacent properties.

Section 65.9.8.3 Blast Design Plan

The blast design plan describes the design of the initial blasts and all the necessary safety precautions that will be taken.

Massachusetts Regulations (continued)

Section 65.9.15 Preblast Inspection Surveys

When blasting takes place within 250 feet of a property not owned or controlled by the project, a free survey must be offered to the property owner.

NFPA 495, 2013 Edition Warnings

The blaster must sound warnings when ready to fire a blast.

NFPA 495, 2013 Edition, Chapter 11 Allowable Limits of Effects of Blasting

Limits that are set for vibration and noise that result from a blast. 527 CMR 1.00 Section 65.9.14.4 contains the requirements for the use of a seismograph.

Section 65.9.18 Blasting Regulatory Review

If a property owner thinks that damage occurred as a result of blasting, they should file a regulatory review form with the fire department within 30 days of the blasting.

A Few Things To Remember



If a blasting project is planned near your property, take a close look at your home or business. You may be surprised at how many cracks in walls, floors, and ceilings already exist just from seasonal changes in humidity, age, and normal wear and tear. Most property owners don't notice these cracks until after blasting has started and mistake them for blasting damage.

The limits set for blasting noise and vibration are conservative and are below the threshold of where damage is known to occur.

The limits set in 527 CMR 1.00 are the result of years of study and research by universities and the Federal Government. The United States Bureau of Mines (USBM) RI 8507 Report is the primary source for establishing noise and vibration damage levels.

Who Do You Contact?

In Massachusetts there are two places to go for blasting help.

Local fire departments issue a *Permit to Blast*. The permit is issued only if all the correct planning has taken place and all other conditions of 527 CMR 1.00 have been met.

Through the Department of Fire Services, the Division of Fire Safety issues *Blasting Certificates of Competency* and *Explosives Users Certificates* to blasters and blasting companies. Local fire departments will not issue a blasting permit without these documents. The certificates document that the blaster is competent to conduct blasting operations, and that his company has shown evidence of both bonding and the required insurance.

Other Blasting Information

How is blasting noise and vibration measured?

A seismograph is used to measure blasting noise and vibration. Seismographs are set up next to the closest structure to the blast site. The machines record the ground vibration and noise generated by the blast. The information is used to determine if the blast has exceeded limits set in the regulations.

Does the blaster keep records?

The blaster is required to keep detailed records of each blast. The records contain the size, time, and location of the blast, the amount of explosives used, and the results of the seismograph monitoring.

Will you hear or feel the blast?

You may hear or feel a blast depending on your distance from the blasting site. Humans are sensitive to noise and sound. What you feel does not necessarily mean that damage is occurring. Let the blasting company know if you are being startled or if you have other concerns about what is taking place.

What if I am sure that blasting damage has occurred?

If you feel that damage has occurred to your property, fill out a *Blasting Regulatory Review Form*. The form (FP-296) is available from the local fire department (and on the DFS website under *Fire Prevention Forms*), and must be submitted to the local fire department within 30 days of the blasting incident. The blasting company will then be required to submit records to the fire department for the blasts in question. The records will be reviewed by both the fire department and the Division of Fire Safety for any violations of the regulations. The blasting company, or its insurance company, is also required to respond to the claimant and to investigate the claim.

What precautions can be taken before blasting starts?

If you are offered a preblast survey, accept the offer. The survey is an inventory of existing conditions of the property. It is also an opportunity for the property owner to ask questions and the blasting company to educate citizens. If you have any concerns or questions, raise them during the preblast survey. The blasting company should be ready and willing to answer questions and address concerns.

Useful Numbers

Department of Fire Services - Stow Headquarters

P. O. Box 1025 – State Road, Stow, MA 01775

(978) 567-3100

www.mass.gov/dfs



Department of Fire Services - Springfield Campus

P. O. Box 51025 - 100 Grochmal Avenue

Springfield, MA 01151-1055

(978) 567-3100, Fax (978) 567-3819

Division of Fire Safety

Main Telephone: (978) 567-3375, Fax: (978) 567-3199

- Code Compliance & Enforcement Unit - Stow
Telephone: (978) 567-3375, Fax: (978) 567-3199
- Code Compliance & Enforcement Unit - Springfield
Telephone: (978) 567-3813, Fax: (978) 567-3819

Contact your local fire department at:



www.mass.gov/dfs

Division of Fire Safety
P. O. Box 1025 - State Road
Stow, Massachusetts 01775
978-567-3375 • Fax 978-567-3199