

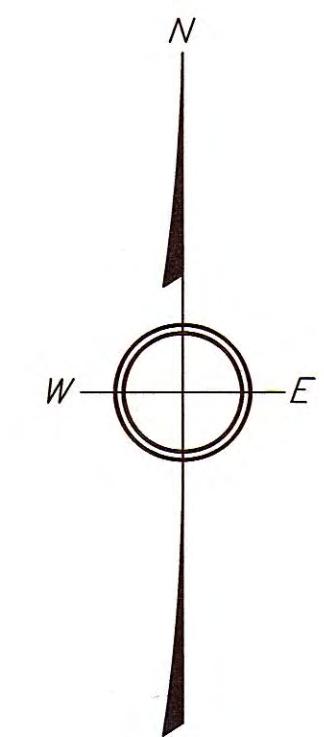
975 MASSACHUSETTS AVE

FOR SITE PLAN REVIEW, SPECIAL PERMIT, AND ORDER OF CONDITIONS

975 MASSACHUSETTS AVE BOXBOROUGH, MASSACHUSETTS ASSESSORS MAP 14, PARCEL 1

OWNER/ APPLICANT:

BHG109 LLC
881 MASSACHUSETTS AVE, UNIT A
BOXBOROUGH, MA 01719

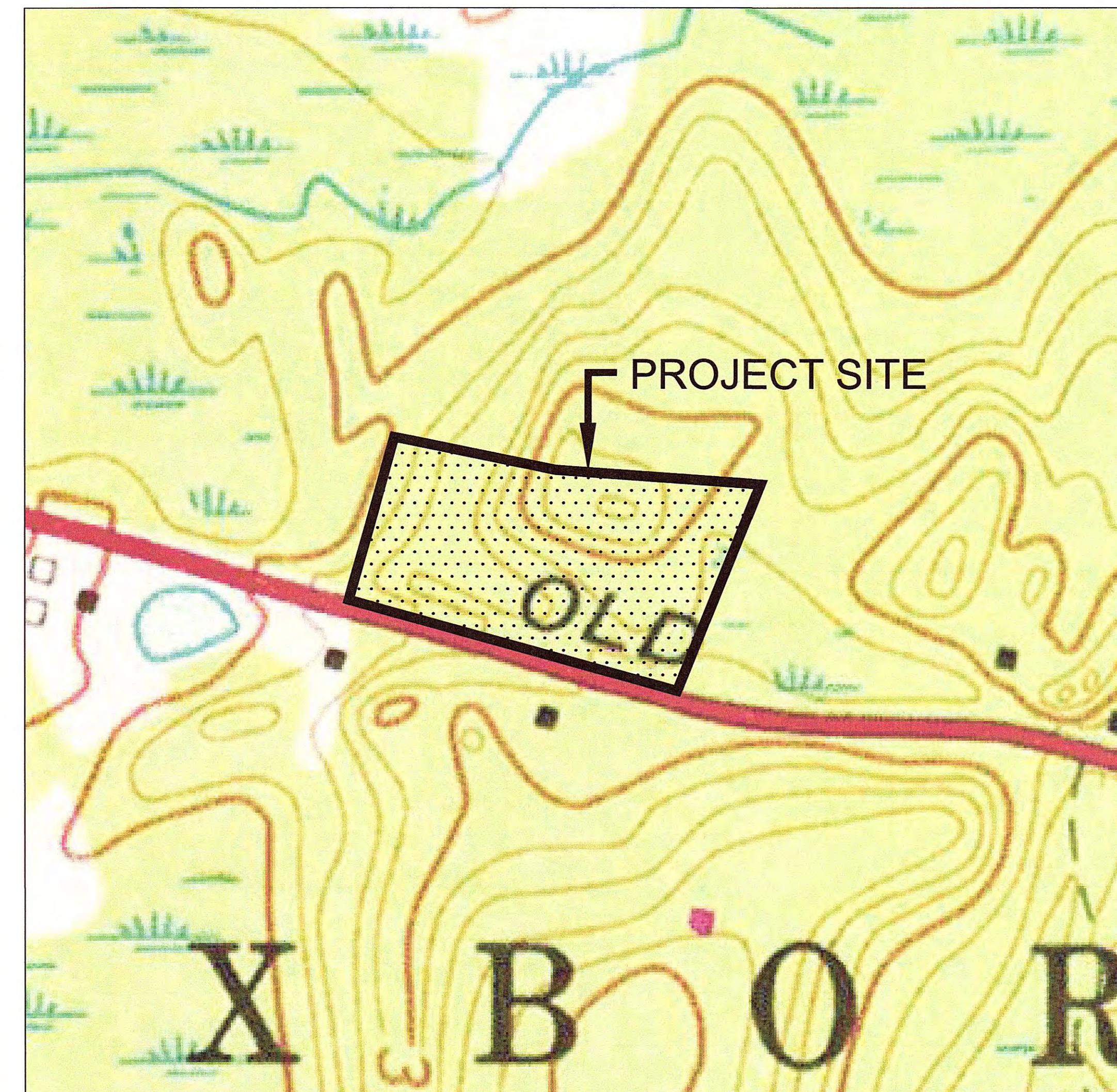


LAND SURVEYOR & CIVIL ENGINEER:

GOLDSMITH, PREST & RINGWALL, INC.
39 MAIN STREET, SUITE 301
AYER, MA 01432
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RELEASE DATES:

NO.	DATE	DESCRIPTION
1	04/22/2025	FIRST ISSUE



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NOT FOR CONSTRUCTION

GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST, AND COMPLETE ALL WORK AS SPECIFIED IN THE CONTRACT DOCUMENTS TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- THE TERM "INSTALL" INCLUDES FURNISHING, INSTALLING, AND PLACING COMPONENTS INTO OPERATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND JOB SITE SAFETY, INCLUDING COMPLIANCE WITH ALL APPLICABLE SAFETY REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PLANS DO NOT PROVIDE DETAILED CONSTRUCTION INSTRUCTIONS.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS AND VERIFY ALL SITE CONDITIONS BEFORE COMMENCING WORK. THE CONTRACTOR SHALL INSPECT THE SITE, CORRELATE EXISTING CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POTENTIAL CONFLICTS WITH THE OWNER AND ENGINEER BEFORE PROCEEDING. NOTIFY THE ENGINEER IMMEDIATELY OF ANY UNFORESEEN CONDITIONS OR DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.
- COORDINATE WITH THE ENGINEER AND ARCHITECT AS NECESSARY. NOTIFY THE ENGINEER AT THE START OF CONSTRUCTION TO SCHEDULE REQUIRED INSPECTIONS.
- CONSTRUCTION LAYOUT OF BUILDINGS AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, UTILITIES, PAVEMENT, AND OTHER SITE FEATURES THAT ARE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, RESTORING THE AFFECTED ELEMENTS TO ORIGINAL OR BETTER CONDITION, IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
- THE LIMIT OF WORK IS SHOWN ON THE PLANS BY SAWCUT LINES, EROSION CONTROL BARRIERS, LIMIT OF CLEARING AND/OR LIMIT OF WORK LINES. THE LIMIT OF WORK SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. ANY AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- NO PUBLIC HAZARDOUS MATERIALS, NON-BiodeGRADABLE FILL, OR STUMPS SHALL BE BURIED ON-SITE OR LEFT WITHIN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA AND RESTORE DISTURBED AREAS AS REQUIRED.
- MANTAIN RECORD DRAWINGS THROUGHOUT CONSTRUCTION. SUBMIT FINAL AS-BUILT DRAWINGS, INCLUDING UNDERGROUND UTILITIES, TO THE OWNER UPON PROJECT COMPLETION. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR FURNING ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS. ALTERNATIVE METHODS OR MATERIALS MUST BE APPROVED IN ADVANCE BY THE OWNER, ENGINEER, AND APPLICABLE REGULATORY AGENCIES. ALL MATERIALS SHALL BE NEW AND IN GOOD CONDITION UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS LIABLE FOR ALL COSTS, FINES, PENALTIES, AND DAMAGES RESULTING FROM DEVIATIONS FROM THE PLANS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEER.
- FOR CLARITY, SOME EXISTING FEATURES SUCH AS UTILITIES, PROPERTY BOUNDARIES, AND EASEMENTS MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO THE FULL SET OF REFERENCED DRAWINGS AND DOCUMENTS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC MANAGEMENT PLAN IN COMPLIANCE WITH THE LATEST EDITION OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL APPLICABLE REGULATIONS FOR WORK AFFECTING ROADWAYS, SIDEWALKS, OR PEDESTRIAN PATHS.
- NON-SPECIFIED ON SITE CURBING RADIUS SHALL BE 2-FT RADIUS.

PLAN REFERENCES

- EXISTING BASE INFORMATION, INCLUDING PROPERTY LINES, STRUCTURES, UTILITIES, AND TOPOGRAPHY, IS TAKEN FROM THE SURVEY PLANS REFERENCED:
- A PLAN OF LAND IN BOxbOROUGH PREPARED BY HARLAN E. TUTTLE, SURVEYOR, DATED JANUARY 27, 1961, REVISED ON 9/1/1965, RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS ON 10/22/1965.
- ELEVATIONS SHOWN ARE BASED ON THE DATUM REFERENCED ON THE EXISTING CONDITIONS PLAN(S).
- WETLANDS WERE DELINEATED BY MATTHEW S. MARROW ENVIRONMENTAL CONSULTING, INC. ON 8/28/2024. THE CONTRACTOR MUST ADHERE TO ALL CONSTRUCTION-RELATED REQUIREMENTS OF THESE APPROVALS.
- THE PROJECT IS LOCATED WITHIN THE RESIDENCE B ZONING DISTRICT. THE CONTRACTOR MUST COMPLY WITH ALL RELATED APPROVALS AND REGULATORY CONDITIONS.
- THE SITE LIES WITHIN ZONE X, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP #2501C0332F, EFFECTIVE JULY 7, 2014, AND IS LOCATED OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

REGULATORY NOTES

- LOCATIONS OF UNDERGROUND UTILITIES, OBSTRUCTIONS, AND SYSTEMS SHOWN ARE APPROXIMATE AND MAY NOT REPRESENT ALL FIELD CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, WHETHER DEPICTED OR NOT. CONTACT "DIG SAFE" AT 1-888-DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL GIVE TWENTY-FOUR (24) HOURS' NOTICE TO THE PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL REQUIRED PERMITS (INCLUDING TRENCH PERMITS IN ACCORDANCE WITH 520 CMR 14.00), PAY ALL ASSOCIATED FEES, AND POST BONDS AS REQUIRED.
- THE CONTRACTOR SHALL BE AWARE OF AND COMPLY WITH ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF THE BUILDING IS WITHIN 10 FEET OF THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM TO THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS (240 CMR 2.00).
- ALL ACCESSIBLE PARKING SPACES AND ACCESSIBLE PEDESTRIAN ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4511 ET SEQ.) OR THE REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (221 CMR).
- ALL SIGNING AND PAVEMENT STRIPING SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION REGULATIONS.
- WETLANDS SHALL REMAIN UNDISTURBED; NO ENCROACHMENT PERMITTED, UNLESS PERMITTED UNDER THE ORDER OF CONDITIONS FOR THE PROJECT.

ZONING

Parameter	Section [1]	Requirement	Provided
Zoning District	Art. 3.1	Business (B)	
Proposed Use	Art. 4.1	Building Trade	ZBA Special Permit
Lot Area	Art. 5.1 (Table)	40,000 SF (20,000 SF upland)	6.16 acres (268,254± SF)
Frontage	Art. 5.1 (Table)	100 FT	684.8± FT
Lot Width	Art. 5.1 (Table)	100 FT	684.8± FT
Yard	Art. 5.1 (Table)		
Front	50 FT	206.9± FT	
Side	30 FT	374.2± FT (West) / 212.3± FT (East)	
Rear	40 FT	70.4± FT	
Building Height	Art. 5.1 (Table)	45 FT, 3 stories	25± FT, 2 stories
Max. Lot Coverage	Art. 5.1 (Table)	50% (Allowable 134,165± SF)	45,220± SF
Parking	Art. 6.1 (Table)	10'x20' parking space	
Building Trade		(1) space per 1,000 SF GFA or one per every employee on largest shift	
Off-street Loading	Art. 6.1.7	(2) loading spaces for building with 5,000 - 8,000 SF of GFA	
Driveways and Entrances	Driveway guideline	20-ft paved, 3-ft shoulders; less than 8% slope; leveling area (max 5%) within 50-ft of access intersection; minimum centerline radius of 80'.	

NOTES:
[1] Reference to section of Zoning Bylaw, where applicable.

ABBREVIATIONS:
SF=square feet; CF=cubic feet; FT=feet; GFA=gross floor area; AC=acres; PB=Planning Board; ZBA=Zoning Board of Appeals; IWP=interim wellhead protection area; ACEC=Area of Critical Environmental Concern; FIRMS=Flood Insurance Rate Map; MDEP=Massachusetts Dept of Environmental Protection

EROSION AND SEDIMENTATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND EPA CONSTRUCTION GENERAL PERMIT (CGP) REQUIREMENTS.
- THE SWPPP SHALL BE AVAILABLE ON-SITE AT ALL TIMES AND UPDATED AS NEEDED TO REFLECT CHANGES IN SITE CONDITIONS OR OPERATIONS.
- PREVENT SOIL AND MATERIALS FROM ENTERING WETLANDS, STREAMS, AND OTHER PROTECTED RESOURCE AREAS.
- PROTECT ABUTTING PROPERTIES FROM CONSTRUCTION-RELATED EROSION AND SEDIMENTATION AT ALL TIMES. WORK ON ABUTTING PROPERTIES REQUIRES WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
- INSTALL SEDIMENT CONTROL BARRIERS AT THE EDGE OF PROPOSED WORK, AS SHOWN ON THE DRAWINGS, PRIOR TO ANY EARTH-DISTURBING ACTIVITIES.
- DETERMINE A WORK SEQUENCE TO LIMIT THE DRAINAGE AREA TRIBUTARY TO DISTURBED ZONES TO MINIMIZE RUNOFF AND EROSION POTENTIAL.
- MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO ENSURE CONTINUED FUNCTIONALITY.
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE MINIMUM REQUIREMENTS. IMPLEMENT ADDITIONAL MEASURES AS NEEDED OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTAIN SPARE MATERIALS ON-SITE FOR IMMEDIATE DEPLOYMENT, REPAIR, OR EXPANSION OF CONTROLS.
- INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROLS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY RAINFALL EVENT OF 0.25 INCHES OR GREATER, ENSURE THAT CHANNELS, DITCHES, AND PIPES REMAIN CLEAR AND MEASURES REMAIN INTACT. REPAIR OR REPLACE DAMAGED CONTROLS IMMEDIATELY.
- MAINTAIN CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT TRACKING ONTO PUBLIC WAYS. SWEEP ANY TRACKED SEDIMENT FROM PUBLIC WAYS DAILY.
- LOCATE ALL STOCKPILES WITHIN THE LIMIT OF WORK. STABILIZE OR PROTECT STOCKPILES WITH SEDIMENT BARRIERS AND COVER IF LEFT INACTIVE FOR MORE THAN 7 DAYS.
- DISPOSE OF DEBRIS GENERATED DURING SITE PREPARATION OFF-SITE IN ACCORDANCE WITH LEGAL REQUIREMENTS.
- PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
- PROTECT ALL SITE ELEMENTS DESIGNATED TO REMAIN FOR THE DURATION OF CONSTRUCTION.
- STRIP TOPSOIL WITHIN THE LIMIT OF WORK TO ITS FULL DEPTH. STOCKPILE SEPARATELY FOR REUSE, AND DISPOSE OF EXCESS TOPSOIL ON-SITE AS DIRECTED BY THE OWNER.
- MULCH CRITICAL VEGETATION AREAS—INCLUDING TEMPORARY/PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUDED SURFACES EXPOSED FOR MORE THAN ONE MONTH—with STRAW APPLIED UNIFORMLY AND THICK ENOUGH TO FULLY COVER THE SOIL.
- STABILIZE CRITICAL VEGETATION AREAS BY SeedING WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/ACRE.
- CONTROL DUST BY SPRINKLING OR OTHER APPROVED METHODS, AS NECESSARY OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- INSTALL INLET PROTECTION IN EXISTING CATCH BASINS BEFORE CONSTRUCTION BEGINS, AND IN NEW CATCH BASINS PRIOR TO PERMANENT PAVEMENT PLACEMENT.
- INSTALL STRAW BALE CHECK DAMS EVERY 200 FEET WITHIN DRAINAGE SWALES AND DITCHES, AND AT THE UPSTREAM ENDS OF DRAINAGE INLETS.
- WHEN INTENSE RAINFALL IS EXPECTED, EVALUATE, DEVISE, AND IMPLEMENT REINFORCING CONTROL MEASURES IN ADVANCE TO COMPLY WITH THE SWPPP.
- IF DEWATERING IS NECESSARY, DISCHARGE WATER TO A STABILIZED, SEDIMENT-FILTERING DEVICE SUCH AS A SEDIMENT BAG, TEMPORARY SEDIMENT TRAP, OR EQUIVALENT BEST MANAGEMENT PRACTICE (BMP) TO PREVENT EROSION AND SEDIMENTATION INTO WETLANDS, STREAMS, DRAINS, OR WATERWAYS. DISCHARGES TO WETLANDS OR WATER BODIES WITHOUT TREATMENT ARE PROHIBITED.
- NO EQUIPMENT, FUELS, LUBRICANTS, OR OTHER MATERIALS SHALL BE STORED WITHIN 100 FEET OF BORDERING VEGETATED WETLANDS, STREAMS, OR WATERWAYS UNLESS OTHERWISE APPROVED. EQUIPMENT SHALL BE INSPECTED DAILY FOR LEAKS; LEAKS MUST BE REPAIRED IMMEDIATELY.
- SEDIMENTATION BASINS SHALL BE USED THROUGHOUT THE SITE TO TREAT RUNOFF. DIVERSION BERMIS SHALL BE USED TO DIRECT UNTREATED STORMWATER TO SEDIMENTATION BASINS. SEDIMENTATION BASINS AND DIVERSION BERMIS SHALL BE ADDED, REMOVED, AND ADJUSTED AS THE SITE EVOLVES THROUGHOUT CONSTRUCTION.
- EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE STABILIZED.
- CONTROLS SHALL BE REMOVED UPON WRITTEN APPROVAL BY THE CONSERVATION COMMISSION OR QUALIFIED ENVIRONMENTAL PROFESSIONAL.

LAYOUT AND MATERIALS NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CAREFULLY REVIEW THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION PLANS, AS APPROPRIATE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER, ARCHITECT, AND SITE ENGINEER IN WRITING OF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES.
- LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE REFERENCE LINES UNLESS OTHERWISE NOTED.
- PARKING SPACE AND DRIVEWAY DIMENSIONS ARE MEASURED FROM THE FACE OF CURB.
- BUILDING DIMENSIONS ARE MEASURED FROM THE FACE OF BUILDING.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS, DIMENSIONS, AND DETAILS OF ALL DOORS, RAMPS, SIDEWALKS, AND BUILDING-RELATED WALLS.
- FIELD CONDITIONS MUST BE VERIFIED. REPORT DISCREPANCIES TO THE OWNER AND OWNER'S REPRESENTATIVE FOR RESOLUTION.
- PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION.
- PAVEMENT MARKINGS AND STRIPING SHALL BE EPOXY RESIN PAINT.
- ALL RADII SHALL BE 2 FEET UNLESS OTHERWISE NOTED.
- ALL ON-SITE CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4,500 PSI WITH 5%-7% AIR ENTRAINMENT UNLESS OTHERWISE NOTED.
- TREES WITHIN THE 400-FOOT ENTRY DRIVE SIGHTLINE SHALL HAVE A MINIMUM 6-FOOT BRANCHING HEIGHT. SHRUBS WITHIN THE SAME AREA SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 18 INCHES.

PARKING COMPUTATIONS

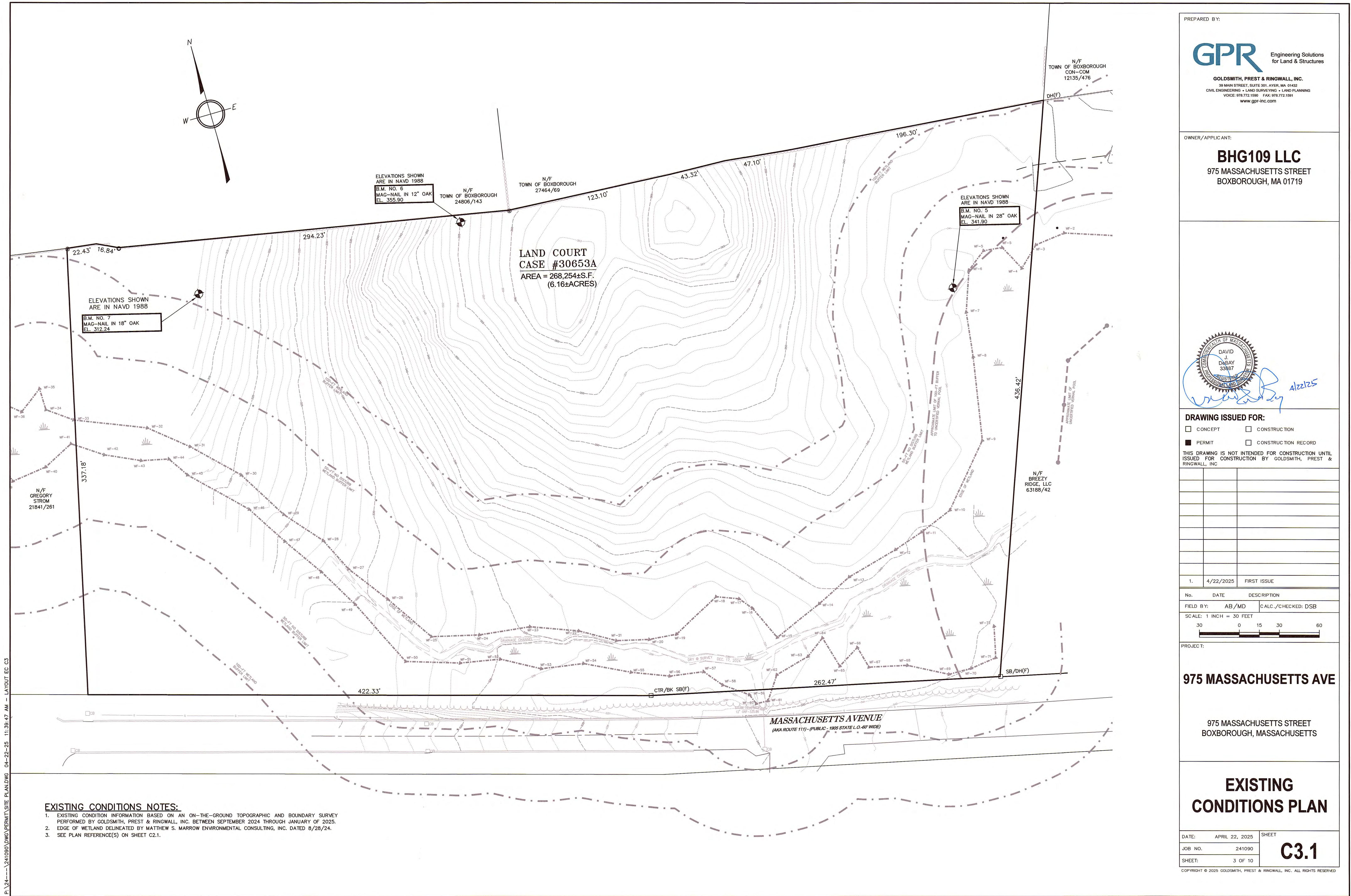
PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	6.16	268,254	100%
Total Impervious Coverage	0	0	0%
DEVELOPED CONDITION			
Lot Area	6.16	268,254	100%
Building Footprint	0.25	10,800	4.0%
Other Impervious Area	0.79	34,420	12.8%
Total Impervious Coverage	1.04	45,220	16.8%

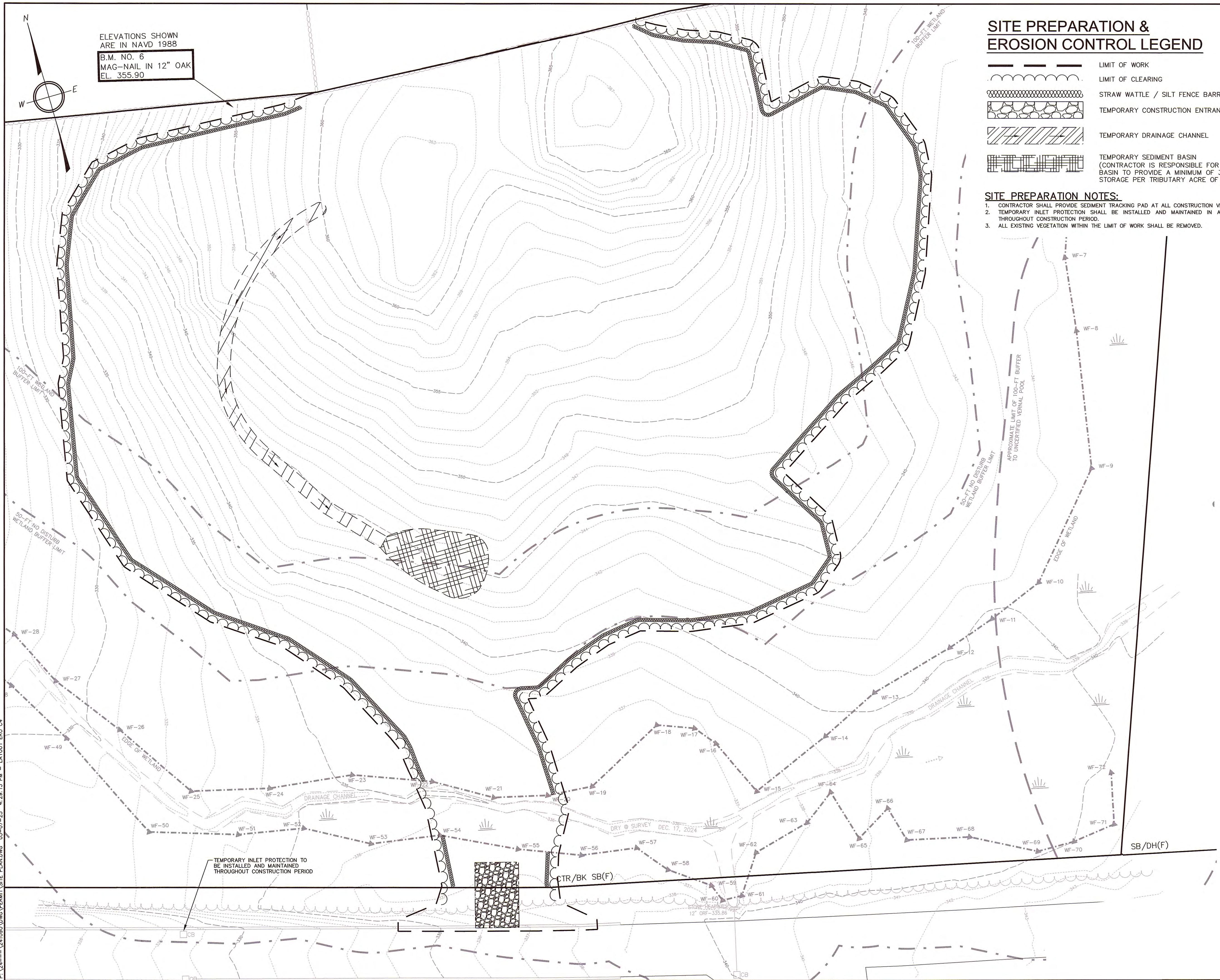
GRADING, DRAINAGE AND UTILITY NOTES

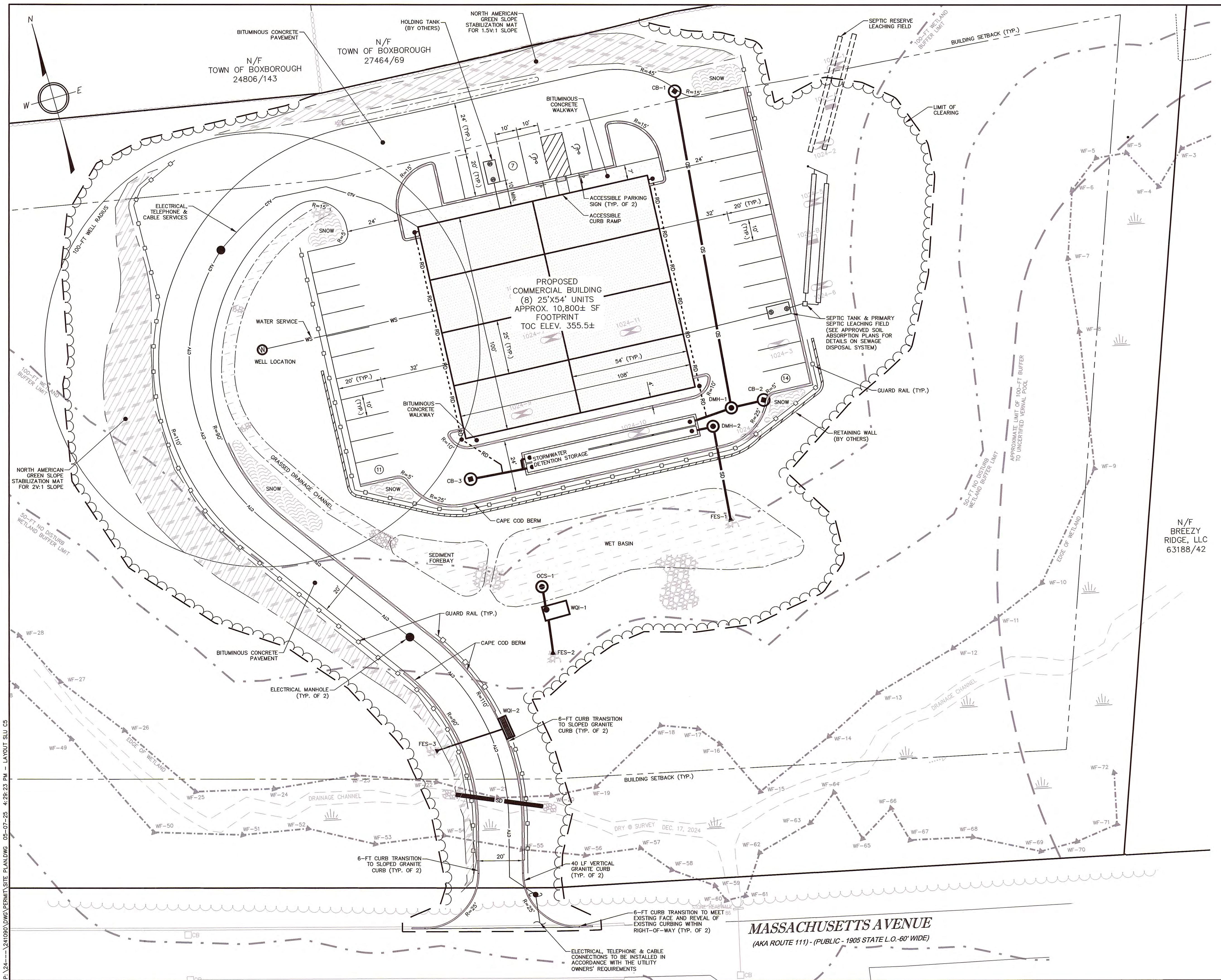
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES SHALL BE REPORTED IN WRITING TO THE ENGINEER BEFORE BEGINNING WORK. NO ADDITIONAL COMPENSATION WILL BE PAID FOR REWORK REQUIRED DUE TO UNREPORTED DISCREPANCIES.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL "PLANS OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, BUILDING ELEVATIONS, UTILITY CONNECTIONS, AND CRITICAL SITE FEATURES.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE LINES, GRADES, SPECIFICATIONS AND REQUIREMENTS OF THE MUNICIPALITY OR AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE REQUIRED INSPECTIONS WITH THE APPLICABLE MUNICIPAL DEPARTMENTS OR AGENCIES.
- WHERE NEW WORK ABUTS EXISTING CURB OR PAVEMENT, SAWCUT THE EXISTING SURFACES TO PROVIDE A CLEAN EDGE. BLEND NEW SURFACE SMOOTHLY INTO EXISTING LINES AND GRADES AND ENSURE POSITIVE DRAINAGE IS MAINTAINED.
- SCHEDULE WORK TO ENSURE FINISHED SUBGRADES DRAIN PROPERLY WITHOUT PONDING. PROVIDE TEMPORARY DRAINAGE AS NEEDED UNTIL FINAL GRADING AND PAVING ARE COMPLETED.
- SPOT GRADES ARE PROVIDED IN CRITICAL AREAS FOR GUIDANCE. CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND. MAINTAIN A MINIMUM PITCH OF 10' PER FOOT ON PAVED SURFACES UNLESS OTHERWISE NOTED.
- GRADING ADJACENT TO BUILDING FOUNDATIONS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. LOW POINTS AND AREAS OF POTENTIAL PONDING SHALL NOT BE LOCATED ADJACENT TO FOUNDATIONS OR BASEMENT WALLS.
- ALL IMPORTED FILL SHALL BE ENVIRONMENTALLY CLEAN AND FREE OF HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO PETROLEUM PRODUCTS, HEAVY METALS, AND ANY REGULATED CONTAMINANTS AS DEFINED BY LOCAL STATE, OR FEDERAL ENVIRONMENTAL STANDARDS. FILL SHALL NOT INCLUDE CONSTRUCTION DEBRIS, DEMOLITION WASTE, ORGANIC MATTER, OR OTHER UNSUITABLE SOILS. THE CONTRACTOR SHALL PROVIDE DEMONSTRATING THE SOURCE AND COMPOSITION OF ALL IMPORTED MATERIAL. THE OWNER AND ENGINEER RESERVE THE RIGHT TO REJECT ANY MATERIAL DEEMED UNSUITABLE.
- RETAINING WALL ELEVATIONS SHOWN REPRESENT EXPOSED WALL HEIGHT UNLESS OTHERWISE NOTED. TOP-OF-WALL (TW) AND BOTTOM-OF-WALL (BW) ELEVATIONS CORRESPOND TO ADJACENT FINISHED GRADES. STRUCTURAL DESIGN, INCLUDING FOUNDATIONS AND FOOTINGS, SHALL BE PREPARED BY A LICENSED STRUCTURAL ENGINEER.
- UNLESS OTHERWISE NOTED ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- PROTECT UNDERGROUND UTILITIES FROM CONSTRUCTION LOADS. IF DAMAGED, UTILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ALL REQUIRED RELOCATIONS OR ADJUSTMENTS TO GAS, ELECTRIC, TELEPHONE, AND OTHER PRIVATE UTILITIES.
- IF AN EXISTING UTILITY CONFLICTS WITH PROPOSED WORK, ACCURATELY LOCATE THE UTILITY AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY FOR RESOLUTION.
- ADJUST UTILITY COVERS, GRATES, AND FRAMES TO MATCH FINISHED PAVEMENT GRADES UNLESS OTHERWISE NOTED.
- ALL DRAINAGE PIPE SHALL BE SMOOTH-WALLED CORRUGATED POLYETHYLENE PIPE (ADS N-12 OR APPROVED EQUAL) RATED FOR 120-LB LOADING AND SHALL HAVE SPLIT-TIGHT JOINTS, UNLESS OTHERWISE NOTED.
- PROVIDE RIPRAP APRONS AT ALL DRAINAGE AND CULVERT OUTLETS.
- PRIOR TO OWNER ACCEPTANCE CONTRACTOR SHALL CLEAN AND FLUSH THE STORMWATER MANAGEMENT SYSTEM. THIS INCLUDES: REMOVAL OF ALL SEDIMENT, CONSTRUCTION DEBRIS, CONCRETEMORTAR DROPPINGS, AND FOWARD FLUSHING OF ALL PIPES COMPLETION OF OPERATION AND MAINTENANCE ACTIVITIES IN THE PROJECT'S SWPPP (E.G., SEDIMENT REMOVAL FROM CATCH BASINS, FOREBAYS, BASINS; STABILIZATION OF BMPs). NO DEBRIS SHALL BE FLUSHED INTO WETLANDS, WATERCOURSES, OR EXISTING STORM DRAINS.
- SEE APPROVED SOIL ABSORPTION SYSTEM PLANS FOR DETAILS ON SEWAGE DISPOSAL SYSTEM FOR THE PROJECT.
- WATER SERVICES SHALL TYPE K COPPER OR PE PIPING AS REQUIRED BY THE LOCAL WATER DEPARTMENT.
- MAINTAIN A MINIMUM COVER OF FIVE (5) FEET FOR WATER LINES UNLESS OTHERWISE APPROVED BY THE ENGINEER AND WATER AUTHORITY.

LEGEND

EXISTING	PROPOSED
100- x100.0	100- FG
WETLAND DELINEATION	
WETLAND BUFFER ZONE	
TREE LINE / EDGE OF VEGETATION	
EDGE OF PAVEMENT	
CAPE COD BERM CURBING	
GRANITE CURBING	
GRAVEL/DIRT ROAD	
STOCKADE FENCE	
STONE WALL	
WATER MAIN	
WATER SERVICE	
FIRE SERVICE	
WATER GATE VALVE	
CURB STOP	
FIRE HYDRANT	
FORCE MAIN	
GRAVITY SEWER LINE	
SEWER MANHOLE	
GAS LINE	
GAS SERVICE	
GAS VALVE	
BURIED ELECTRICAL, TV & CABLE	
OVERHEAD POWER LINE	
UTILITY POLE	
GUY WIRE	
ELECTRIC BOX	







PREPARED BY:

Engineering Solutions
for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.

39 MAIN STREET, SUITE 301. AYER, MA 01432
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
VOICE: 978.772.1590 FAX: 978.772.1591
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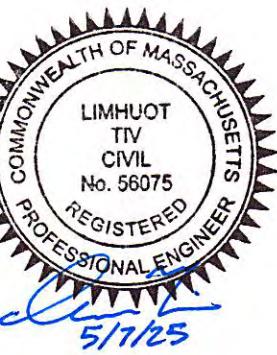
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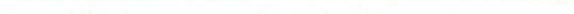
CONCEPT CONSTRUCTION

PERMIT CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION UNTIL
ISSUED FOR CONSTRUCTION BY GOLDSMITH, PREST &
RINGWALL, INC



DRAWING ISSUED FOR:	
<input type="checkbox"/> CONCEPT	<input type="checkbox"/> CONSTRUCTION
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> CONSTRUCTION RECORD

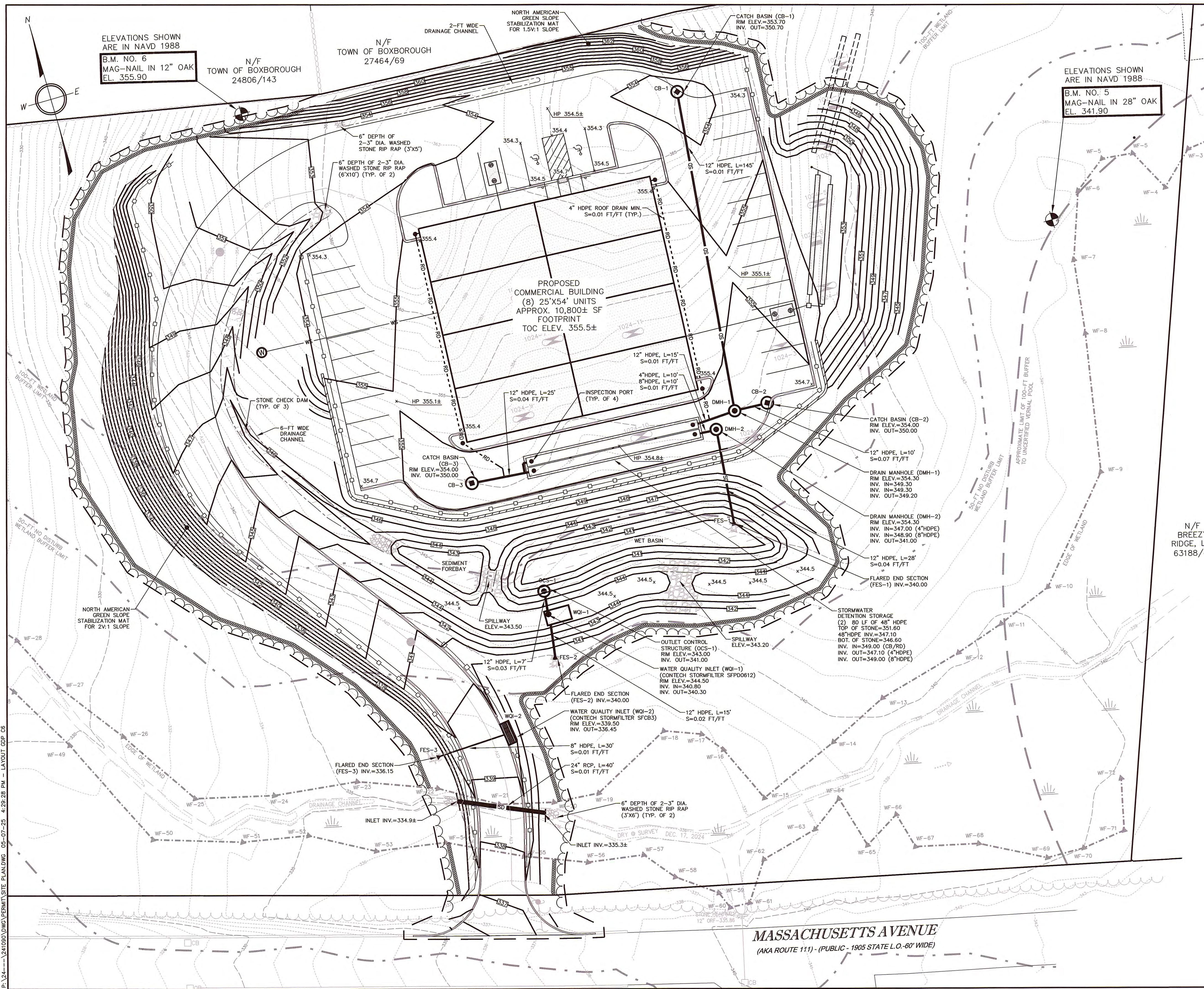
1.	4/22/2025	FIRST ISSUE		
No. DATE DESCRIPTION				
DESIGNED BY: LT		CHECKED BY: EAC		
SCALE: 1 INCH = 20 FEET				
20	0	10	20	40
				

975 MASSACHUSETTS STREET
BOYDSTON, MASSACHUSETTS

LAYOUT, MATERIALS, AND UTILITIES PLAN

DATE:	APRIL 22, 2025	SHEET
JOB NO.	241090	
SHEET:	5 OF 10	

C5.1



The image shows a business card for GPR. The logo consists of the letters 'GPR' in a large, bold, blue sans-serif font. To the right of the logo, the text 'Engineering Solutions for Land & Structures' is written in a smaller, black, sans-serif font. Below the logo, the company name 'GOLDSMITH, PREST & RINGWALL, INC.' is printed in a bold, black, sans-serif font. Underneath the company name, the address '39 MAIN STREET, SUITE 301. AYER, MA 01432' is listed in a smaller, black, sans-serif font. Below the address, the services offered are listed as 'CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING' in a black, sans-serif font. At the bottom of the card, the phone number 'VOICE: 978.772.1590' and fax number 'FAX: 978.772.1591' are provided in a black, sans-serif font. The website 'www.gpr-inc.com' is also listed at the bottom in a black, sans-serif font.

OWNER/APPLICANT:
BHG109 LLC
975 MASSACHUSETTS STREET
BOXBOROUGH, MA 01719



DRAWING ISSUED FOR:	
<input type="checkbox"/> CONCEPT	<input type="checkbox"/> CONSTRUCTION
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> CONSTRUCTION RECORD
THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION BY GOLDSMITH, PREST & RINGWALL, INC.	

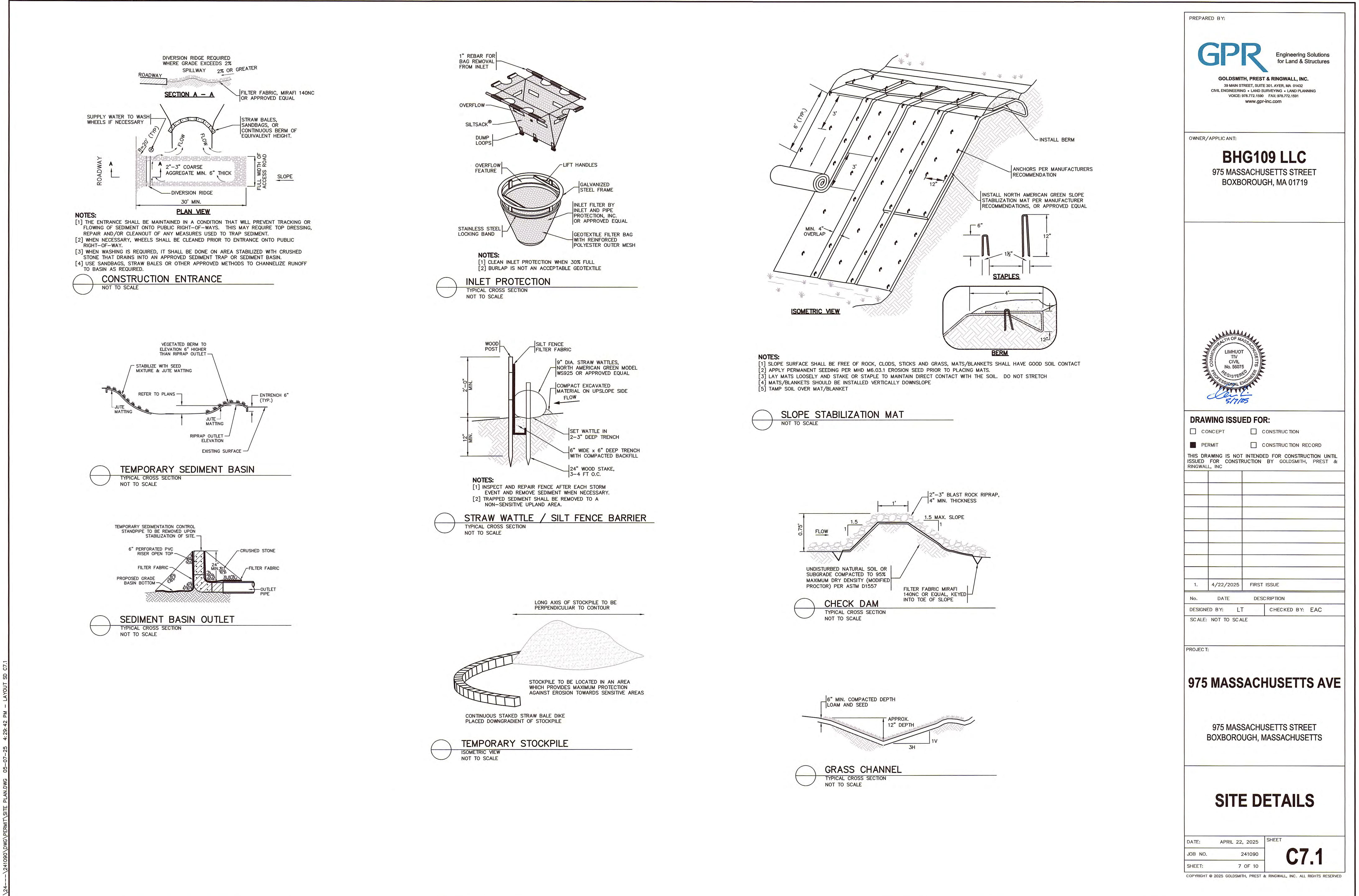
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ISSUED FOR CONSTRUCTION BY GOLDSMITH, PREST &
RINGWALL, INC.

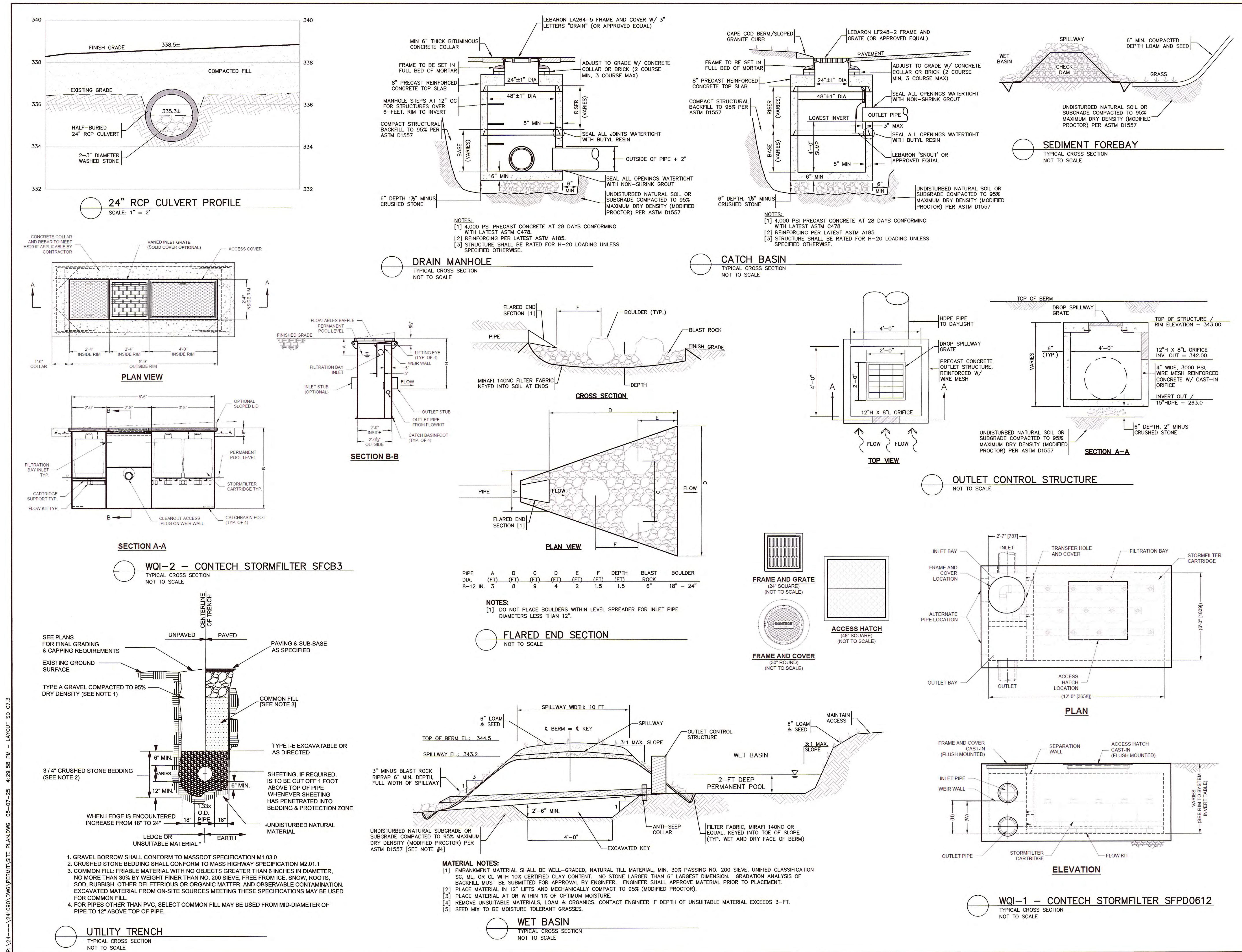
1.	4/22/2025	FIRST ISSUE
No. DATE DESCRIPTION		
DESIGNED BY: LT		CHECKED BY: EAC
SCALE: 1 INCH = 20 FEET		
20	0	10 20 40

975 MASSACHUSETTS AVE

GRADING AND DRAINAGE PLAN

DATE:	APRIL 22, 2025	SHEET C6.1
JOB NO.	241090	
SHEET:	6 OF 10	





The logo for GPR Engineering Solutions. It features a large, stylized, blue 'GPR' monogram on the left. To the right of the monogram, the words 'Engineering Solutions' are stacked vertically in a smaller, black, sans-serif font. Below that, 'for Land & Structures' is written in a slightly smaller black font.

OWNER/APPLICANT:
BHG109 LLC
975 MASSACHUSETTS STREET
BOXBOROUGH, MA 01719



DRAWING ISSUED FOR:	
<input type="checkbox"/> CONCEPT	<input type="checkbox"/> CONSTRUCTION
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> CONSTRUCTION RECORD
THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION BY GOLDSMITH, PREST & RINGWALL, INC	

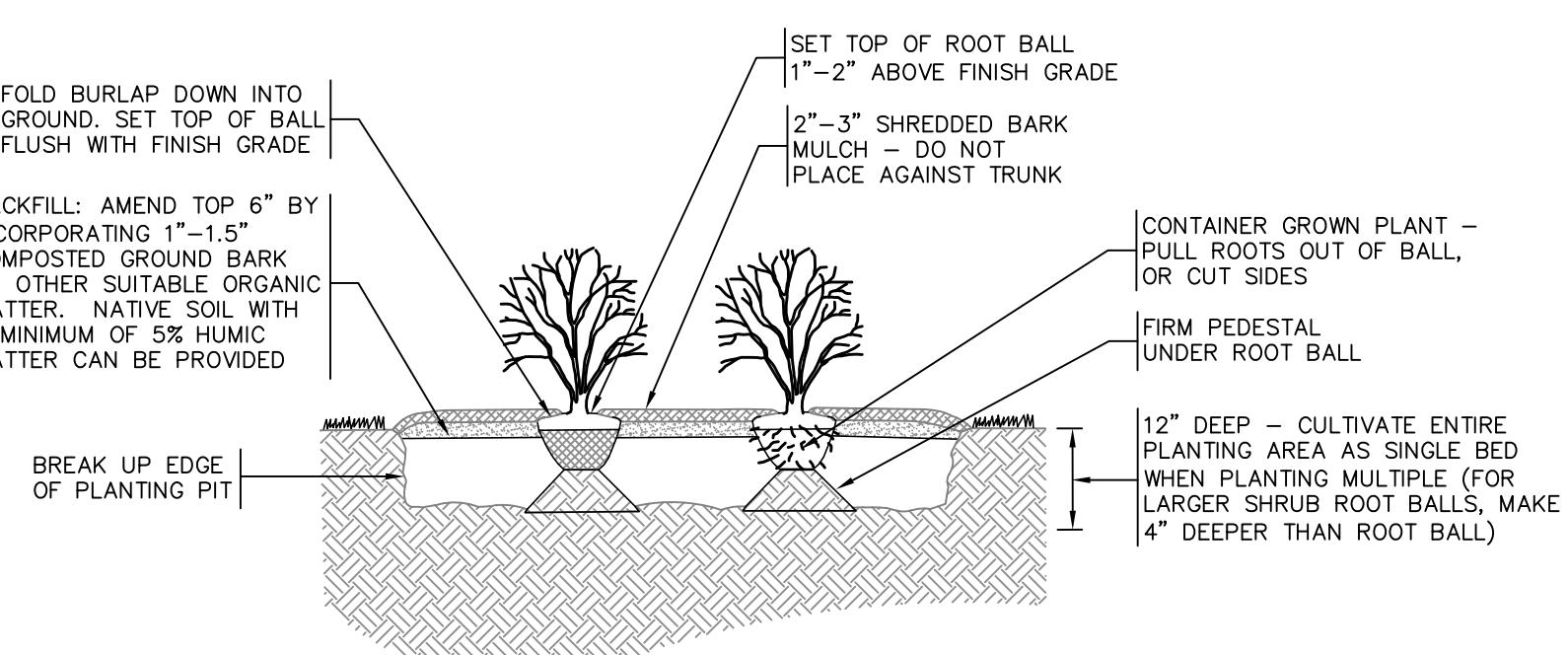
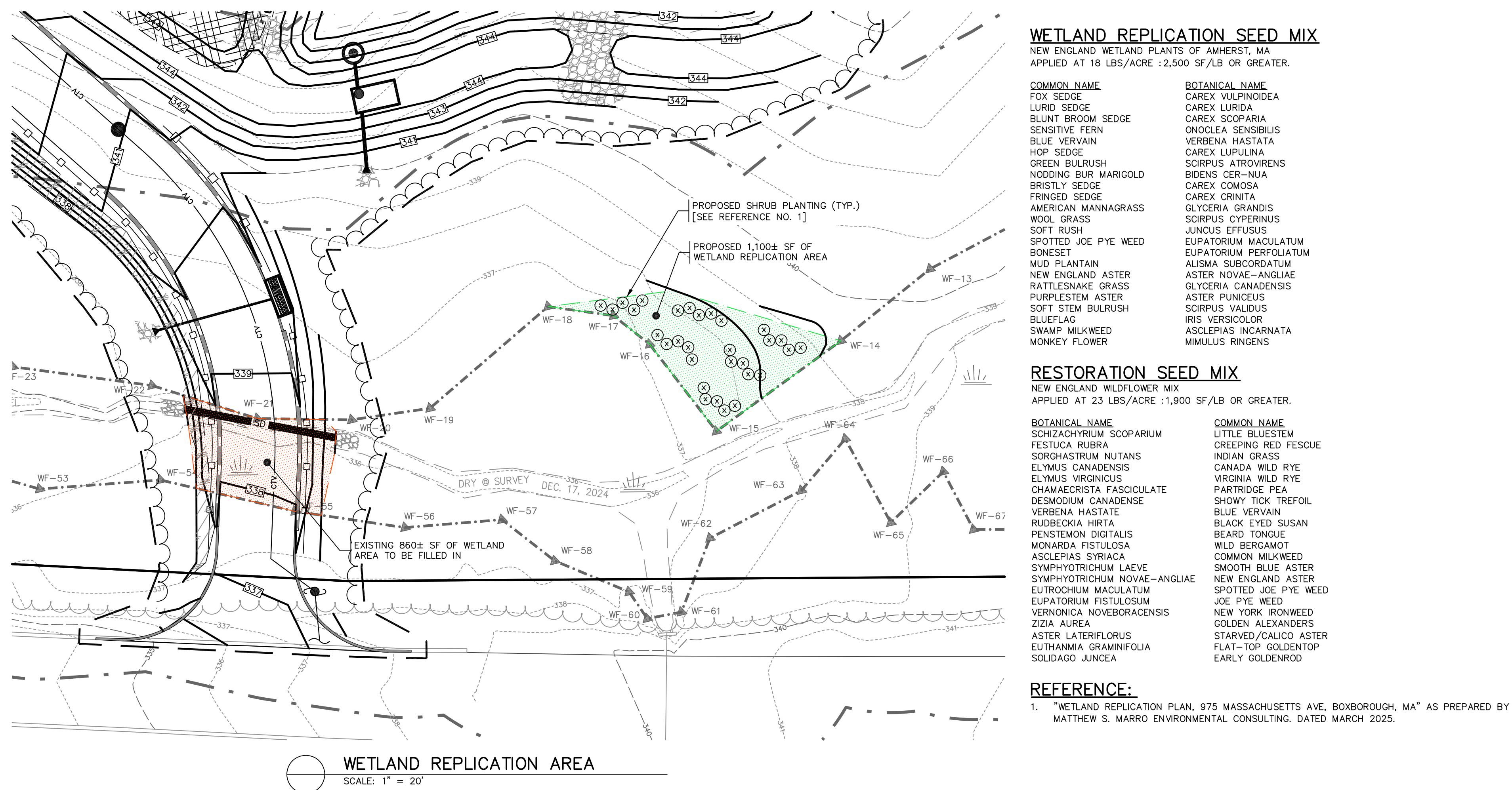
1.	4/22/2025	FIRST ISSUE
No.	DATE	DESCRIPTION
DESIGNED BY:	LT	CHECKED BY: EAC
SCALE: NOT TO SCALE		

PROJECT: THE LOST CITY

975 MASSACHUSETTS STREET
BOXBOROUGH, MASSACHUSETTS

SITE DETAILS

OWNER/APPLICANT:
BHG109 LLC
 975 MASSACHUSETTS STREET
 BOXBOROUGH, MA 01719



SHRUB PLANTING
 NOT TO SCALE



MSMarro

4/11/2025

975 MASSACHUSETTS AVE
 975 MASSACHUSETTS STREET
 BOXBOROUGH, MASSACHUSETTS

WETLAND REPLICATION PLAN
 DATE: APRIL 11, 2025 SHEET
 JOB NO. 241090
 SHEET: 10 OF 10