

DESIGN REVIEW BOARD  
TOWN OF BOXBOROUGH



# DESIGN GUIDELINES

Version 2.0

Approved by the Boxborough Design Review Board  
December 12, 2018

# DESIGN REVIEW BOARD DESIGN GUIDELINES

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# INTRODUCTION

## Design Review

The Town Center Visioning Committee, Design Guidelines Subcommittee, prepared the original Design Guidelines in conjunction with a Warrant Article creating the design review process. Zoning Bylaw changes approved by the Annual Town Meeting on May 8, 2000 created the Boxborough Design Review Board comprised of representatives from the Planning Board, Board of Selectmen, Permanent Building Committee, Historical Commission, and an at-large elected member. The Board now consists of representatives from the Planning Board, Select Board, Historical Commission, and two at-large elected members. The purpose of the Design Review Board is to augment the typical planning process and provide a detailed review of design attributes in the Town Center Zoning District, as well as other areas if designated to complement the design qualities of the town and enhance the scenic, historic, and rural character of the town.

The Design Review Board derives its authority and responsibilities from Zoning Bylaw Section 8100. The Planning Board, which is the approval authority for Site Plan Approval applications, transmits plans received to the Design Review Board for review and comment. The Board reviews the plans taking into account the design attributes listed in the Zoning Bylaw and further defined within the Design Guidelines, and then makes its advisory recommendations to the Planning Board or other Special Permit Granting Authority as defined in the Zoning Bylaw.

### *General Character*

Boxborough's general character is summed up in the phrase "scenic, historic, and rural character."<sup>1</sup> From agricultural roots, it is comprised of generally low density housing, with some higher density concentrations of condominiums and businesses. Boxborough highly prizes its open spaces and areas that remain agricultural or wooded in nature.

### *Boxborough Town Center*

The center of Boxborough generally comprises the intersection of Massachusetts Avenue (Route 111), Middle Road, and Stow Road. The Town Center Zoning District is a specific district at this intersection comprised of specific parcels. A mix of residential and commercial property surrounds the Town Center Zoning District, which contains historic buildings used for retail and offices. The Boxborough Town Hall, the Congregational Church, and its associated

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<sup>1</sup> As further defined in the January 19, 1994, Town of Boxborough Master Plan Committee on Rural Character Final Report. By using existing structures in town to establish scale and architectural aspects, these Guidelines extrapolate character to accommodate focused design issues for town center and other designated areas.

parsonage are located directly and diagonally across Massachusetts Avenue from the primary area of development. New development will consist of mixed uses (public, service, retail, and housing).

### *Boxborough Business Districts*

The Route 111 corridor provides an important part of the fabric of Boxborough, and the town's Business (B) and Business-1 (B-1) Zoning Districts abut this major thoroughfare. It is important to balance commerce and further development or redevelopment in these districts with the preservation of the tree canopy, and to manage growth through the use of design guidelines. However, the nature, traffic, and visual cues in the Business and Business-1 Zoning Districts are different from those in the pedestrian-focused mixed-use Town Center Zoning District. These differences are highlighted in the various sections where they vary from Town Center guidelines. "[BD]" will precurse such changes in the text specific to Business and Business-1 Zoning Districts.

### **Design Guidelines Organization**

This handbook is a description of the attributes used by the Design Review Board in making its recommendations. It is also intended to assist those interested in making improvements to existing structures to better understand and utilize the design review process.

Materials to be submitted by applicants as part of the design review process are provided in Attachment 1, Design Review Board Application.

### **Design Guidelines Revision History**

Version 1. This document was approved by the Boxborough Design Review Board on July 17, 2000.

Version 2. This document was approved by the Boxborough Design Review Board on December 12, 2018.

## DESIGN ATTRIBUTES

The Zoning Bylaw delineates design attributes to which these Design Guidelines give further definition. It is the intention here to provide ideas for consideration as part of the design review process. These guidelines are not intended to provide deterministic compliance criteria, but rather to make certain concepts and design strategies more explicit, by statement and by example, to allow a collaborative process between developers and the Design Review Board, such that the Board may provide recommendations to the appropriate approval authorities.

### 1. *Rhythm of Solids and Voids*

The architectural quality of building elevations is determined, in large part, by the “rhythm” or “patterns” of the architectural elements on the elevation. These include doors, windows, entrances, signs, ventilation louvers, and ornamental elements such as columns, railings, shutters, and trim. Architecture from the Colonial period to the early Greek Revival period (1760s-1840s) commonly exhibits symmetrical arrangement of these elements, but there are also good examples of “balanced” random arrangements of elements that can be equally attractive. In order to do this, the planning of space should be kept in mind with the strong elevational implications considered at each stage of the design process.



Good example of attractive symmetrical (above) and non-symmetrical (below) primary elevations.



Example of how the elevation below the primary floor line may be differentiated while maintaining the consistency of the basic structure.



Example of poor elevation design: mixed styles, poor proportions, lack of symmetry/rhythm.



This elevation suffers from a number of problems: disproportional layout of openings, uncomfortable proportions of elements, lack of gable trim-board relief and a roof pitch that is too flat. Too much foundation is also evident.

## ***2. Façade and Openings***

### **Façade**

Facades and the orientation of openings should highlight distinctive stylistic features that characterize buildings with a common theme.



Good example of the relationship of elements. Inviting primary entry, symmetry of windows.

Exposed foundation walls should be minimized, softened by landscaping and architectural design. It is recommended that exposed foundations greater than 3 feet be covered with stone facing (or brick if a later period-styled building or the body of the building is brick) if it cannot be otherwise concealed.

### **Openings**

It is also very important that the placement of doors and windows on all elevations (front, side, and rear) be treated with care. Rear elevations, above the first floor typically used for service access (which should be otherwise screened), should be treated with the same attention as the front and side elevations.

[BD] In the Business District, consideration should be given to both street-facing and/or primary customer entrance-facing facades.



A simple logical layout of openings is preferable.

The presentation of an elevation is a function not only of the largest of the architectural elements relative to each other, but also of the proportion of the elements themselves.

It is recommended that window proportions have maximum and minimum height/width ratios as follows: (see illustration below) Height Y = 1.5 to 1.9 times the Width X. Windows adhering to the ratio can be arranged in a series, still considering symmetry and rhythm, to allow a broader presentation as a shop front.

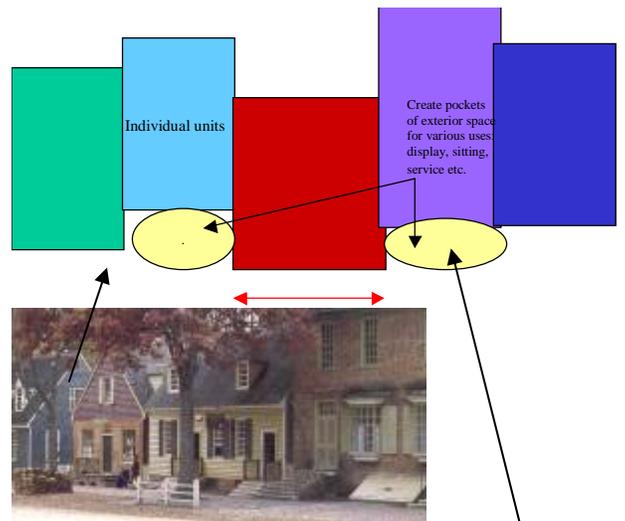


Other window ratios or elements may be considered, however, the orientation and proportion relationships with other façade elements should be taken into account.

### 3. Massing and Spacing of Buildings

#### Village Core

The Town Center Zoning District will include a village core, the location of which was defined in the Design Phase of the Town Center Visioning Committee process. Retail, service, and residential uses are encouraged in the village core. In mixed-use buildings, retail operations shall be present on the ground floor. The village core retail setbacks are less restrictive than retail in other districts, permitting denser mixed-use development to focus center activities. Primary roads are designated within the village core.



Principles of core town building layout, and an example of adjacent buildings.



Pockets of space for market carts, seating, and other uses.

Streetscapes should be enhanced by and reflect the village core's vibrant and varied uses.



Example of how a variety of styles can complement one another.

On-street parking is allowed. Where feasible and where the types of businesses are not adversely impacted, parking away from pedestrian areas should be considered. Service vehicle access to buildings will be away from the primary facing of buildings. The overall massing and shape of buildings will be determined by the ability to construct well-proportioned main structures and roofs that appear authentic.

Fences of appropriate style should be considered to accompany buildings in the village core.

### **Business Districts**

The Business Zoning District consists of more parcel-based (less clustered) structures than in Town Center Zoning District. While facades and volumes should be variegated to “break up” large volumes of space from external view, the assumption is that a single or small number of tenants may be located in such projects.

The overall massing and shape of buildings should be determined by the ability to construct well-proportioned main structures and roofs that appear authentic. Proper visual screening of exterior receptacles, mechanical works, etc., is important. Fences should be chosen to harmonize with nearby structures and should follow Town Center guidelines (p. 9) for recommended materials.

### **Large Buildings**

The intention is to promote a scale and massing of a small rural town representing styles extending from roughly the middle of the Colonial period to the early Greek Revival period (1760s-1840s). In this era, the largest buildings were either meetinghouses or agricultural buildings such as barns. The size and scale of these traditional structures will indicate the size of the largest building footprints in the Town Center Zoning District. The recommended largest footprint would approximate 45 feet x 65 feet. Commercial buildings of residential character, including residential-scale elements and features that complement local tradition and character, are encouraged.

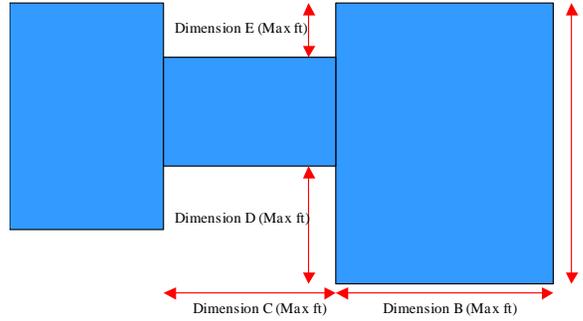


Example of large-scale building that is harmonious with surrounding structures defined by building's original purpose.

**Link Buildings**

Two large buildings may be linked by an additional structure, but the link building should be set back from the ends of the building by an offset in the wall and roof planes (not including any porches or entries located on the link building which may be flush with the primary structures). This will reduce the appearance of the mass of larger buildings and ensure the major building volumes are seen as distinct structures. The link buildings should look as though they are later additions to earlier freestanding structures.

The volumes of buildings should present themselves as authentic. Full roofs may support mechanical equipment if hidden by a widow's walk, for example, or by surrounding interior flat spaces with pitched roofs.



Good example of link buildings.

**Small Buildings**

While smaller structures (less than 1,500 square feet in plan) may be placed adjacent to one another, it is recommended each building have its own structure and elevational treatment that is different from its neighbor. Small decorative wings (e.g., wooden framed greenhouses) may be attached to larger structures if well integrated into the overall arrangement of shapes.

**Public vs. Domestic Architecture**

Massing, orientation, and details should be commensurate with the size and prominence of the building, Public architecture (e.g. library), because of its function, will vary in scale (e.g., larger footprint, position of wings of the primary structure) and detail (e.g., columns)

from the other buildings in the Town Center and Business Zoning Districts.



Example of the contrast between public building and other use building.

Domestic buildings may include carriage houses, barns, or other types of structures consistently related to other neighboring structures.

### **Overall Massing**

The overall massing objectives are to stimulate a concentrated use of space in the commercial center of town. The Village Core should stress pedestrian access, including handicapped access, to buildings that are domestic in scale, encourage shopping, and create pockets of space in front of buildings for seasonal plantings, shaded sitting areas, and outdoor dining. [BD] Design in the Business Zoning District must address access and scale, as well; applicants should create inviting entry/egress points with appropriate visual cues.

## ***4. Placement and Orientation of Buildings within a Lot***

Buildings should acknowledge the uniqueness of their location, their building neighbors, and the natural setting. In other words, an attractive vista, for example a stream or a stand of

woods, should be utilized in the design of the adjacent building. A courtyard or plantings may be used to create a relationship between adjacent buildings.



Example of the relationship of varied building elements to the surrounding courtyard, including functional outdoor uses.

Buildings in the Village Core, even those close to the street, shall maintain a wide sidewalk with space for circulation. Where a building is placed further back on a lot, consideration should be made for seating and plantings to enhance use.

The use of fencing to separate public and private space, to mark property lines, and to protect plantings from traffic can add significantly to the streetscape or business structure. Fences should be chosen to harmonize with nearby structures (if any). Picket and other natural wood fences with openings/rhythm and stone walls are suggested. Modern concrete walls, chain link fences, and stockade fences do not visually enhance a site and are not appropriate to routes of pedestrian or public vehicular travel in these districts. Board fences or board fences capped with top rows of lattice should be used to obscure waste receptacles,

external systems, service entrances, or related areas.

## **5. Architectural Details, Materials, and Color**

Construction in a particular historical style should employ accurate elements of that style. These guidelines target a historical style that extends from roughly the middle of the Colonial period to the early Greek Revival period (1760s-1840s).

### **Architectural Details**

Architectural details include trim and shutter elements:

Roof trim should have depth and consistency of lines. Corner elements at gable ends may project. Dentil molding, shown below the roofline, is an example of a good detail.



Good example of a roof eave projection with wrap-around corner detail.



Good example of gable end roof hangover and projection of detail.

Molding and trim should be used to decorate or finish building surfaces and doors.



Note dentil trim on opening and detail below bay windows.

### **Windows**

Window mullions shall be true divided lights or applied on both the interior and exterior of windows.

### **Shutters**

Shutters shall be of wood or a close facsimile. The width of shutters shall be sufficient to cover the width of an opening when closed.



Example of shutters of correct scale and proportion, as well as opening symmetry/rhythm, and window moldings.

### **Siding**

Siding shall be wooden clapboard or close facsimile (e.g., vinyl, no greater than 4.5" exposed clapboard-like course), wood shingle, or brick.

### **Roof Materials**

Roofs shall be clad in architectural-grade roofing shingles, wood shingles, or slate.

### **Colors**

Colors should be related to the time period represented by a particular style. There is a wide range of historically appropriate colors to express individuality while still being appropriate to the style of the building. The colors should be applied to the structure (or be part of the exterior materials) to enhance the design. Compatible colors that blend with or complement neighboring structures and/or the setting should be used. Neon and bold colors should not be used. All trim should be white, off-white, or a complementary color.

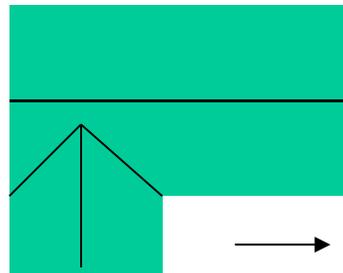
Roof colors should be limited to black, brown, slate gray, or natural wood shingle.

## **6. Roof Slopes and Shapes**

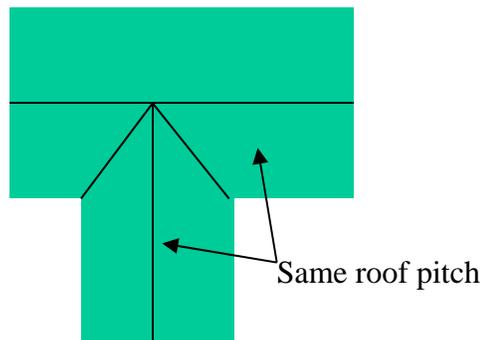
It is recommended that the roof pitch should be at least 8 over 12 (rise over run) on a building of more than one story, except in the case of a hip roof where a lesser pitch is traditional. It is recommended that the roof pitch of gables or link buildings be no less than the roof pitches of the buildings they are linking.

Roof shapes may include simple gable, gambrel, saltbox, and hip. Flat or nearly flat shed-type roofs shall not be allowed, except for porches or attachments distinct from the primary structure or in the case where systems are concealed by standard roof forms.

It is recommended that additions to the primary structure not be in the same plane as the end gable, pictured here.



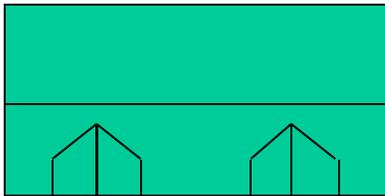
It is recommended that wings be offset from the end of the gable as shown below.



Roof pitches of additions or wings should be similar to the primary roof. Clusters of buildings should apply the same roof plan principles to pitch and link roofs.

**Skylights and Dormers**

Sky or roof lights are not recommended openings. Dormer windows are the recommended method of introducing light into roof space and are usually best designed when they relate to the windows on lower elevations.



Dormer windows should be in scale with the remainder of the elevation (smaller than the windows on the lower floors) and relate to the layout of openings on the lower floors.



Good example of dormers that are congruous with both the primary structure and the adjacent structure comprised of different materials.

No more than one double hung window shall be allowed per dormer. Shed dormers are specifically excluded.

**7. Signage and Lighting**

Signage and lighting should be appropriate to the scale and style of development outlined for the Town Center and Business Zoning Districts, and should not detract from the bucolic nighttime feeling of the town.

**Lighting**

Pedestrian-scale street lamps should illuminate pedestrian ways in the Village Core and be traditional (colonial lantern fixtures or resembling gas light style).



Examples of lighting types.

Understanding that safety and security are sometimes more important than historically accurate design, recessed and discrete fixtures should be used at steps and non-road abutting walkways.

**Signs**

Size: The size of the signs should be kept in scale with the surrounding buildings and street. [BD] In the Business Districts it is understood that entry way signs will differ in scale from those in the Village Core because of their location on Route 111.

Information: The information shown on signs should identify a business in a simple and straightforward manner. Signs that identify a business should limit the text to the name of the business. A simple illustration is often the best way to convey a product or

service. [BD] Business Zoning District signs may contain address and other salient business information.

**Color:** No more than 2-3 colors should be used. Colors used for the sign should match either the background or the trim color of the structure that it serves. This will visually link the sign to the business. When more than one sign is used, the sign colors should be coordinated with each other to present a unified image. [BD] Sign colors are not limited to structure colors, but should complement adjacent structures.

**Materials:** Wooden signs, either painted or carved, are appropriate given the architectural character of the Village Core and Business Zoning Districts. Other materials may be used only if their design is compatible with the architecture of the building project. Plastic, internally lit, neon, and flashing signs are not appropriate.

**Uniformity vs. Individuality:** Through use of similar materials, lighting, and standardized posts for freestanding signs, the perception of the Village Core as a distinct and unique place may be reinforced. (Standards such as size and height limitations are included in the Zoning Bylaw). The proposed sign system should allow individual expression while respecting the overall integrity of the zoning district.

### **Sign Types**

**Freestanding Sign.** A freestanding sign is supported by upright post(s) permanently anchored in the ground. The sign face is oriented perpendicular to the street and is easily viewed by passing motorists and pedestrians.

**Content:** As the primary identifier of the business, information should be limited to the name and function of the business. [BD] Business Zoning District signs may contain address and other salient business information.

**Size:** The area of the sign face should be limited to a maximum of 10 square feet. The height of the sign face shall not exceed 7 feet although the upright supporting the sign may be slightly higher; the sign should not interfere with sidewalk circulation. [BD] Freestanding signs of 20 square feet in area or less are appropriate.

**Lighting:** The light source should be concealed from view and face downward. Glare from light sources can be reduced through the use of shielded light fixtures or frosted glass. Lighting on the sign should be shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

**Sign Supports:** Standardized sign supports could provide a visually unifying element that would help identify the town center. Posts should be white or they may be painted or stained a neutral background color to match the building or complement the sign. Accent colors may be used in coordination with building trim colors or sign lettering.

**Projecting Sign.** A projecting sign is attached to and projects more than 18" from a wall of a building. Because projecting signs may interfere with the appearance of the façade, the use of projecting signs is allowed only where it is not possible to use a freestanding sign.

**Content:** Same as for freestanding signs.

**Location:** The sign should be located so it does not block or obscure important architectural elements of the façade nor interfere with pedestrian access. Either of the front corners of a structure would be the best location. Smaller signs projecting from porches are also appropriate.

**Size:** The area of the sign face should be limited to 6 square feet and should project no more than 2 feet from the side of the building. The bottom of the sign should be at least 10 feet above the ground.

**Lighting:** Lighting on the sign should be shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

**Sign Supports:** The supports should be as simple and unobtrusive as possible. If the sign supports are wooden, they should be painted to match the building.

**Wall Sign.** A wall sign is parallel to any exterior wall of a building. A wall sign should not obscure the architectural features of the building. Depending on the design of the building, wall signs should be considered only if the other types of signs are not suitable.

**Content:** If the wall sign is the primary identifier of the business, the information should be limited to the name and function of the business. This information should be placed so that people entering the establishment can read it.

**Location:** The sign should be placed according to the design of the building. If the building incorporates sign space into the façade, the sign should be placed in that area.

**Size:** The size of a wall sign should be proportional to the wall space on which it is mounted. On residential uses where sign space is not typically incorporated into the façade, the size should not exceed 6 square feet.

**Lighting:** Lighting on the sign should be downward and shielded so that no direct light shines onto sidewalks, streets, or adjacent properties. If possible, the light source should be concealed from view.

**Directional Signs.** A directional sign is designed specifically to direct pedestrian or vehicular traffic flow. Directional signs should be used only when absolutely necessary. When used, they should be visually subordinate to major identification signs.

**Content:** The text should contain direction messages only.

**Location:** Only where necessary to mark driveway entrances or to direct cars to parking at the rear of buildings.

**Size:** These signs should not exceed 3 square feet.

**Lighting:** When necessary, lighting should be concealed and unobtrusive.

**Using Signs.** It is recommended that only one sign be used per establishment. No more than two sign types shall be allowed per establishment. If two are used, a

combination of a freestanding or projecting sign plus a wall is recommended. This combination would provide one sign perpendicular to the road that can easily be read by passing motorists and a second sign that can be read when facing the building. A projecting sign should be used if there is no front yard, or if a freestanding sign would obstruct visibility from a driveway.

**Flag Poles.** Flagpoles, freestanding and/or structure-mounted, are encouraged for flying the American Flag. Scale should be commensurate with the location and visibility of the pole (both walking & driving).

## ***8. Landscaping***

Landscaping in the Town Center and the Business Zoning Districts should build upon the natural beauty of the location. Abundant, well chosen, and well maintained planting and landscaping should become a notable theme to be reinforced throughout. In the Town Center Zoning District, outdoor gathering places close to open spaces, shops, and residences should provide benches, and plantings that reflect the natural surroundings.

Where they can be well maintained, it is recommended that Town Center Village Core structures include window boxes or plant shelves for, at a minimum, lower floor windows which are street or path facing. Also, where they can be well maintained, flower baskets hung from lighting posts should be considered.



Example of flower basket hanging from lighting post.

Landscaping should be used to either strengthen or buffer the visual relationship with the surrounding area. Existing natural features should be assessed for incorporation within open space areas.

Town Center Zoning District landscaping should be designed with consideration of nearby buildings, walkways, and parking areas. Walkways should be located to account for most probable access routes (e.g., out of direct intersection of or allowing access between flowerbeds). Parking lots should be designed with landscaped islands within them; islands between buildings, roads, and walkways should be abundantly planted to create a strong horticultural character from throughout the year.



Example of excellent planting scheme that adds to the attractiveness of the environment and demonstrates civic pride.

Where heavy pedestrian traffic is anticipated, the landscaped surfaces should have durable surfaces: brick or brick-like pavers, slate, cobblestone, or textured concrete (patterned or giving the appearance of the other listed materials). Asphalt sidewalks shall not be permitted in the village core and are discouraged in Business Zoning Districts.



Example of durable finishes for pedestrian traffic.

All trees along primary roads and walkways should have a minimum of 2-1/2 to 3" caliper with a 14-16' height. These trees should limb up a minimum of 8' above grade. One tree type should be selected per traffic way (street, lane, etc.). There should be at least one tree for each 16 feet of street frontage. Plantings towards the street should respect the integrity of the street.

The use of native species of trees, shrubs, vines, groundcovers and perennials is encouraged in order to make gardens compatible with the existing wildlife habitat and its regional context.

The use of fruit, berry, and nut trees is encouraged in order to contribute to the existing wildlife habitat, but should not be placed overhanging or near walkways or roads. Planting of fruit trees in groups of four or greater (regularly spaced) is encouraged to create small orchards. Planting of nut trees in regular or irregularly-spaced groups of three or more is encouraged.

Plantings in immediate proximity to buildings should respect architectural lines (that is, should be seen as extensions of the architectural walls).

### **Species to be Avoided**

Because of the adverse impacts to the ecology of the Northeast, it is recommended the following plants not be used for landscaping:

#### **Trees:**

Olive, Russian or Autumn  
Norway maple  
Osage orange  
Silver poplar  
Sycamore maple  
Tree of heaven  
White mulberry  
White cottonwood

#### **Shrubs & Small Trees:**

Barberry, Japanese  
Winged euonymus  
Honeysuckle, Amur, Japanese,  
Tartarian

Privet, including blunt-leaved, common/hedge, and Japanese  
 Buckthorn, including common, smooth and shiny/glossy  
 Rose, specifically Multiflora, Rugrose & Japanese

Vines:

Bittersweet nightshade  
 Porcelain berry  
 Oriental bittersweet  
 Honeysuckle, Japanese or  
 Morrow's/Morrow's X Tartarian/Tartarian  
 Silver fleece/lace vine  
 Kiwi vine  
 Kudzu  
 Japanese Wisteria

Herbaceous Plants:

Garlic mustard  
 Hairy willow-herb  
 Yellow flag iris  
 Purple loosestrife  
 Japanese knotweed  
 Wild thyme

Other:

Barnyard grass  
 Black locust  
 Wort, black swallow and money  
 Bushy rock-cress  
 Canada bluegrass  
 Common mullien  
 Creeping buttercup  
 Curly pondweed  
 Cypress spurge  
 Dame's rocket  
 water-milfoil, Eurasian and variable  
 Fanwort  
 Giant waterweed  
 Goutweed or Bishop's weed  
 Hair fescue  
 Japanese hops  
 Lesser naiad  
 Live forever or Orpine  
 Phragmites, Reed/Reed canary grass

Sea- or horned poppy  
 Sheep fescue  
 Sheep-sorrel  
 Spotted knapweed  
 Sweet reedgrass  
 True forget-me-not  
 Water chestnut  
 Watercress  
 Wetsern catalpa  
 Yellow floating heart

**Species that are Encouraged**

Native Trees:

Flowering dogwood  
 Sycamore  
 American Beech  
 Spruce  
 White Pine  
 Eastern hemlock  
 Eastern red cedar  
 Red maple  
 Red oak  
 American linden  
 Sugar Maple  
 Sweet gum

Native Wildflowers:

American columbine  
 Butterfly weed  
 Spike gayfeather  
 New England aster  
 Cardinal flower  
 Lanceleaf Coreopsis  
 Spotted geranium  
 Blue flag  
 Obedient plant  
 Cutleaf coneflower  
 Black-Eyed Susan

**Native Groundcovers & Grasses:**

Canada Anemone  
 Foam flower  
 Wild ginger  
 Labrador violet  
 Bearberry  
 Virginia creeper

Virgin's bower  
Switchgrass  
Indiangrass  
Little bluestem  
Wild rye  
Vinca  
Lily of the Valley

Native Shrubs:

Elderberry  
Bayberry  
Winterberry

Red Osier Dogwood  
Silky dogwood  
Blueberry, lowbush and highbush  
Sweet pepperbush  
Highbush cranberry  
Pinxterbloom Azalea  
Inkberry  
Native Rhododendrons  
Native Azaleas  
Mountain Laurel  
Creeping Juniper

## Attachment 1 – Design Review Board Application

Date: \_\_\_\_\_

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_  
\_\_\_\_\_

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

Owner Name: \_\_\_\_\_

Owner Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

Architect/Engineer/Designer Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

Briefly describe the nature of the construction work:

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Briefly describe the use of the building:

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